



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD  
*Lighting the Way ~ Rejoicing in Our Journey*

ROOF MAINTENANCE PROGRAM TENDER  
CHATHAM-KENT CATHOLIC SCHOOLS

**INSTRUCTIONS TO BIDDERS**

Date: May 30, 2016

BID PACKAGES #: CP1617

1. **BID SUBMISSION**

The St. Clair Catholic District School Board (Board) is seeking roofing contractor to provide roof maintenance program consisting of repairs, replacements and upgrades to existing roofs at fifteen (15) facilities located in the Municipality of Chatham-Kent.

Bids from invited bidders shall be submitted on the Bid Form provided and submitted in an envelope clearly marked:

**Bid Packages #: CP1617 ROOF MAINTENANCE PROGRAM TENDER**

The envelope shall be sealed and delivered to: St. Clair Catholic District School Board  
420 Creek Street  
Wallaceburg, ON  
N8A 4C4

**Attention: Mr. Tony Prizio, Procurement Specialist**

Bids will be accepted at the Catholic Education Centre office not later than **June 14, 2016 @ 4:00:00 p.m.** (No extensions to Bid Closing date are anticipated. Bidders are encouraged to act immediately to prepare their submissions!)

Bids shall be filled out in ink or typed, signed in longhand by a duly authorized company official (having authority to bind). One original of the fully completed Bid Form must be submitted. **Failure to provide all of the requested information on the Bid Form may result in disqualification of the bid.**

Bids by telephone, fax or email will **not** be accepted.

After bid closing, sealed envelopes will be opened by the Board's Procurement Specialist (Tony Prizio) and a representative from Corporate Services' department.

2. **SCOPE OF WORK**

The Instructions to Bidders identifies the work to be performed in the Contract and takes priority if there is a conflict within the Bid Documents. **Refer to attached specifications for detailed description of work to be carried out by the successful proponent.**

3. **BID DOCUMENTS**

The following Bid Documents form the basis of this Bid Package and shall be examined by bidders:

- 3.1 Instructions to Bidders dated May 30, 2016
- 3.2 Remlap Building Services – Request for Tender, Bid Form, Drawings and Scope of Work
- 3.3 **Prime Contract** – Board will issue a purchase order to the successful proponent(s).  
The Board assumes no responsibility for the bidder's failure to examine **all** of the Bid Documents.



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4. **BID ACCEPTANCE**

It shall be understood by all bidders, that the bid shall be valid and subject to acceptance by the Board, and that no adjustments shall be made to the Bid amounts for a period of up to and including sixty (60) days from the Bid Closing Date.

The Board reserves the right to determine the successful bidder by any combination of base bid, separate prices, requested alternate prices and voluntary alternate prices submitted with the bid. The Board is not obligated to select the bid with the lowest price and may cancel a bid prior to award without liability to any bidder.

The successful bidder shall be required to enter into a formal contract with the Board, which will include the terms and conditions of the Instructions to Bidders, Bid Form, and all other applicable documents.

5. **AWARD**

The Board has the right to reject any or all bids. The lowest Bid will not necessarily be accepted. The invitation to bid does not constitute an offer by the Contractor to enter into a contract.

6. **PAYMENT**

The Board shall pay within forty-five (45) days after receipt of the invoices which are received and approved by the Board.

7. **TAXES**

Include in Bid all Taxes and all other Customs Duties and Excise Taxes which are in force at Bid date as detailed in General Conditions. Harmonized Sales Tax (H.S.T.) is **not** to be included in the bid. The H.S.T. amount and the Bidder's **H.S.T. Registration Number** are to be indicated on the Bid Form in the spaces provided.

8. **ADDENDA**

Bidders finding discrepancies, ambiguities or omissions in the bid documents or having doubt as to the meaning or intent thereof, shall immediately notify the Procurement Specialist who may issue instructions and/or clarifications by Addendum to all Bidders. Bidders may also, during the Bidding Period, be advised by Addendum of any additions, deletions or alterations to bid documents. All such Addenda shall become part of the Bid Documents.

All questions to be addressed in writing to: Mr. Tony Prizio, Procurement Specialist  
St. Clair Catholic District School Board  
Fax 519.627.8230 or  
E-mail: [tony.prizio@st-clair.net](mailto:tony.prizio@st-clair.net)  
Copy: [marcie.butler@st-clair.net](mailto:marcie.butler@st-clair.net)  
**No later than 48 hours prior to bid closing date.**



**INSTRUCTIONS TO BIDDERS**

Date: May 30, 2016

BID PACKAGES #: CP1617

9. **CHANGE NOTICES, CHANGE ORDERS**

The following fee percentage and overhead charges shall be applied to additional work ordered by the Board:

- For work carried out by the Contractor's own forces – 10% Overhead & Profit
- For work involving a subcontractor, the subcontractor may charge a maximum 10% fee. The General Contractor may charge a maximum of 5% in addition to subcontractor's fee.

10. **BONDING : NO BONDING REQUIRED**

~~On bids exceeding \$ 50,000.00, submit with the Bid an Agreement to Bond for a 50% Performance Bond, and a 50% Labour & Material Payment Bond. Upon request, the successful Bidder will be required to provide the 50% Performance Bond and 50% Labour and Material Payment Bond from a bonding company acceptable to the Board. The cost of the bond is not to be included in the bid sum, the amount of which is to be identified on the Bid Form.~~

11. **VOLUNTARY ALTERNATE AND SEPARATE PRICES**

The bid amounts are to be based on the bid documents. Where there is any conflict within the bid documents, the bid amount shall include the higher cost alternative. Alternative proposals are encouraged and must be identified in the bid. Submit complete information including any impact on schedule to allow a full evaluation of the proposal including, as applicable, any particulars in which the alternate proposal is at variance with or unable to meet the specifications. Note also any impact on other trades if the alternative is accepted. Alternative proposals may be made without limitation, including for items specified as single sourced.

12. **EXAMINATION OF SITE & SITE VISIT: NOT REQUIRED**

~~In submitting a bid, it will be assumed that the bidders have carefully examined the site and surrounding properties of the work and have informed themselves as to the existing conditions, access, storage areas and limitations, and have included in the bid price the complete cost of the work contemplated by the drawings and specifications and other bid documents.~~

13. **TIMING OF PROJECT**

A purchase order will be issued by June 17, 2016.

Work on **ALL** sites must take place during the month of July 1 and completed no later than August 26, 2016.

14. **PROJECT SPECIFIC REQUIREMENTS**

Contractor shall provide their own washroom facilities for their employees, board washrooms will be off-limits to the contractor's employees.

Please be advised that the Owner has a No Smoking Requirement on the Owners' property. Contractors are requested to ensure that employees and suppliers are advised of the Requirement. Contractor shall remove rubbish and debris from the site on a daily basis or as directed by the Board. On completion of the work, all debris shall be removed; the floor shall be thoroughly cleaned and swept; the site shall be left in a tidy condition (construction clean). Do not use the Board's equipment or facilities for cleaning or for any reason.



**INSTRUCTIONS TO BIDDERS**

Date: May 30, 2016

BID PACKAGES #: CP1617

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15. **INSURANCE**

Contractor must maintain, at the Contractor's expense for the entire term of the Contract or as otherwise required, all insurance as set out below:

- The successful Contractor shall provide the Board with proof of insurance for Comprehensive General Liability and Property Damage with a limit of not less than \$2,000,000.00 (two million dollars) inclusive prior to commencing work.
- The successful Contractor shall provide the Board with proof of insurance for Motor Vehicle Public Liability and Property Insurance on all owned and rented equipment with a limit of not less than **\$2,000,000.00 (two million dollars)** inclusive prior to commencing work.
- The Contractor agrees to indemnify, hold harmless, and defend the Board from and against any and all liability for loss, damage and expense, which the Board may suffer or for which the Board may be held liable by reason of injury (including death) or damage to any property arising out of negligence on the party of the proponent or any of its representatives or employees by way of ownership or operation of an automobile.
- The successful Contractor shall provide the Board with a complete certified copy of all policies.
- The successful Contractor must name the St. Clair Catholic District School Board as additional insured on their insurance policies.

16. **WORKPLACE SAFETY INSURANCE BOARD (WSIB)**

Contractor must furnish a copy of Workplace Safety and Insurance Board Clearance Certificate of good standing, "Section 748" of the Workplace Safety and Insurance Act with its bid documents.

17. **PERMITS**

The Board will apply and pay for the building permit. The Contractor shall apply for and include costs for any other permits and approvals required for the completion of their work.

18. **MEETINGS**

A Post Bid Meeting may be convened and chaired by the Board who will invite Contractor and his major Subcontractors to review the Contract Documents and Bid submitted. This meeting will be prior to the Board issuing a Letter of Intent or Contract. This meeting does not constitute or infer any contract award to the proposed contractor or any other contractor, nor that will the project proceed.

During the course of Work, scheduled progress meetings may be required at the call of the Project Leader.

19. **GUARANTEE**

The guarantee shall be as outlined in the specifications starting from after completion of the entire job and acceptance thereof by the Board unless a different period of time is specified with the Board's approval. The Contractor's guarantee shall cover all work under the Contract whether or not any portion or trade has been sublet.

The Contractor agrees to correct promptly, at the Contractor's own expense, defects or deficiencies in the Work which appear prior to and during the period of guarantee, or such longer periods as may be



**INSTRUCTIONS TO BIDDERS**

Date: May 30, 2016

BID PACKAGES #: CP1617

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specified for certain products or work.

If the Contractor fails to make any replacements or repairs required hereunder, after notice from the Board and reasonable opportunity to do so, the Board may have such work done at Contractor's expense, including all necessary labour costs in connection therewith. Board shall inform Contractor in advance of the approximate cost of such work to be done by the Board.

**20. SCHEDULE**

The Contractor will be required to perform the work in accordance with the Schedule dates provided in 13. Timing of Project. Ordering of major and long delivery items shall begin immediately upon successful bidder's receipt of contract award. The Contractor will provide a construction schedule within five (5) days of being awarded the project.

*Time is of the essence.* Bidders are to include adequate manpower, overtime and shift work necessary to meet or improve the schedule, and to make up any time lost to weather or normal delays. Include travel, room and board costs for out of town workers, shop overtime and other premiums to expedite material and equipment, shipping premiums and any incentive costs required to meet the schedule.

**21. CONTRACTED SERVICES PROGRAM**

Contractors performing work on Board property must complete the Contracted Services Program. This program has three basic components that **must** be met before the bid is awarded. Contractors who cannot meet the minimum requirements of this program will not be awarded this tender. Program information can be found on the Board's web site at [www.st-clair.net](http://www.st-clair.net) or through the Board contact identified previously in this document.

**22. HEALTH and SAFETY**

The Occupational Health and Safety Act describes the responsibilities of an employer. The Board requires Contractors to maintain procedures, training, and enforcement so that the responsibilities are carried out in the workplace. The Contractor shall abide by and strictly adhere to the regulations and conditions set out and laid down by the most current versions of the Occupational Health and Safety Act. All staff employed or hired by the Contractor and working on the Board's premise **MUST** be trained in WHMIS in accordance with Occupational Health and Safety Act and Regulations. They **MUST** adhere to all of the Board's Health and Safety Procedures and Guidelines and to Municipal By-Laws.

Contractor will submit proof of its health and safety program, procedures and training as detailed above upon request by the Board.

The Contractor shall appoint a Competent Person as the Supervisor of this project. The Competent Person shall be as defined in Section 1 of the Occupational Health and Safety Act.

The successful Contractor shall conform to the Ontario "Occupational Health and Safety Act" and all regulations made under said act and assume full responsibility for contraventions of same.

All workplace injuries or accidents on Board property **MUST** be reported by the Contractor to the Board's representative within 24 hours.

Any workplace injury that is defined under the Occupational Health and Safety Act as a "Critical Injury" must be reported to the Board's representative **IMMEDIATELY**.



**INSTRUCTIONS TO BIDDERS**

**Date: May 30, 2016**

**BID PACKAGES #: CP1617**

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**23. SAFE SCHOOL PROCEDURES**

Contractor's staff is required to report to the main office of each school during regular school hours and notify the school office staff of the purpose of the visit. The Contractor is required to adhere to all school specific procedures if applicable.

It is the responsibility of the Contractor's staff to sign in and sign out of the Log Book, which is located in the main office area, while performing their duties.

The following information must be recorded in a legible manner:

- Date
- Company Name
- Employee Name
- Employee Signature
- Reason for Visit
- Time Entering Building
- Time Leaving Building

**24. PARKING**

Contractors must park within the designated areas and allow for provisions to and from the designated parking area onto the job site.

**25. TIE BIDS**

In the event of a tie. A coin flip conducted by the Procurement Specialist with a minimum of one other Board staff will determine the successful proponent

**END OF INSTRUCTIONS TO BIDDERS**

**ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD**

420 CREEK STREET  
WALLACEBURG ONTARIO  
N8A 4C4

REQUEST FOR TENDER  
FOR  
ROOF MAINTENANCE PROGRAM  
VARIOUS SCHOOLS

**TENDER FORM**

**TENDER FORM**

**Roof Maintenance Program for Various Schools  
@  
St. Clair Catholic District School Board**

Name of Bidder \_\_\_\_\_  
*(Hereinafter Called the Tenderer Contractor)*

Address \_\_\_\_\_

Being A \_\_\_\_\_ (A) which \_\_\_\_\_ (B)

**Note:** In space (A) above states type of company  
Eg. "Incorporated", "limited", etc.  
In space (B) above state "is" or "is not".

Registered under the laws of the Province of \_\_\_\_\_

**DOES HEREBY AGREE TO:**

1. Furnish all labour, materials, equipment, and service necessary for the completion of the Roof Maintenance Program at **St. Clair Catholic District School Board for Various Schools** in accordance with Form of Tender, Scope of Work and Roof Plan with description for **TOTAL TENDER PRICE "A" (H.S.T. INCLUDED)**,

\_\_\_\_\_ \$ \_\_\_\_\_  
*(HST Included)*

or such other sums as may be finally ascertained in accordance with the allowance for Roof Maintenance and deductions as set out in the Tender Documents.

Name of Bidder \_\_\_\_\_

Address \_\_\_\_\_

Being 'A' \_\_\_\_\_ (A) which \_\_\_\_\_ (B)

**Note:** In Space (A) above states type of Company, e.g. "Incorporated", "Limited, etc.  
In Space (B) above state "is" or "is not".



**TENDER FORM**

*Roof Maintenance Program for Various Schools*  
 @  
*St. Clair Catholic District School Board*

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**(A) ST. JOSEPH CATHOLIC SCHOOL – TILBURY****Roof Area 'B'****Item No 1**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'****Item No 2**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'****Item No 3**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 4**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'****Item No 5**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 6**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 7**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'H'****Item No 8**

See Page 1 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 8)****SUBTOTAL 'A'****\$ \_\_\_\_\_****(B) ST. JOSEPH CATHOLIC SCHOOL – CHATHAM****Roof Area 'A'****Item No 1**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'B'****Item No 2**

See Page 2 of 16\_ from Scope of Work

\$ \_\_\_\_\_

**Item № 3**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 5**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 6**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'**

**Item № 7**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 8**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'**

**Item № 9**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 10**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 11**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 12**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 13**

See Page 2 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 13)      **SUBTOTAL 'B'**      \$ \_\_\_\_\_

**(C) OUR LADY OF FATIMA CATHOLIC SCHOOL – CHATHAM**

**Roof Area 'A'**

**Item № 1**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'B'**

**Item № 2**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 3**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'**

**Item № 5**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 6**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 7**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'**

**Item № 8**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 9**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 10**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 11**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item № 12**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'**

**Item № 13**

See Page 3 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 13)      **SUBTOTAL 'C'**      \$ \_\_\_\_\_

**(D) MONSIGNOR UYEN CATHOLIC SCHOOL – CHATHAM**

**Roof Area 'A'**

**Item № 1**

See Page 4 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 2**

See Page 4 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item № 3**

See Page 4 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 3)      **SUBTOTAL 'D'**      \$ \_\_\_\_\_

**(E) ST. URSULA CATHOLIC SCHOOL – CHATHAM**

**Roof Area 'E'**

**Item № 1**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'G'**

**Item № 2**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'I'**

**Item № 3**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 5 of 16 from Scope of Work

\$       N/A      

**Roof Area 'J'**

**Item № 5**

See Page 5 of 16 from Scope of Work

\$       N/A      

**Roof Area 'K'**

**Item № 6**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'L'**

**Item № 7**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 8**

See Page 5 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 8)  
(Excluding Items 4&5)**

**SUBTOTAL 'E'**

**\$ \_\_\_\_\_**

**(F) GEORGES P. VANIER CATHOLIC SCHOOL – CHATHAM**

**Roof Area 'A'**

**Item № 1**

See Page 6 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'**

**Item № 2**

See Page 6 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'**

**Item № 3**

See Page 6 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 6 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 4)**

**SUBTOTAL 'F'**

**\$ \_\_\_\_\_**

**(G) ST. VINCENT CATHOLIC SCHOOL – CHATHAM****Roof Area 'A'****Item № 1**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'B'****Item № 2**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'****Item № 3**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'****Item № 4**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'****Item № 5**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'G'****Item № 6**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 7**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 8**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'H'****Item № 9**

See Page 7 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 9)****SUBTOTAL 'G'****\$ \_\_\_\_\_****(H) ST. AGNES CATHOLIC SCHOOL – CHATHAM****Roof Area 'C'****Item № 1**

See Page 8 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'****Item № 2**

See Page 8 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item № 3**

See Page 8 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'**

**Item № 4**

See Page 8 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'G'**

**Item № 5**

See Page 8 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 5)      **SUBTOTAL 'H'**      \$ \_\_\_\_\_

**(I) URSULINE COLLEGE SECONDARY CATHOLIC SCHOOL – CHATHAM**

**Roof Area 'C'**

**Item № 1**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item № 2**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'**

**Item № 3**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'G'**

**Item № 4**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'L'**

**Item № 5**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'P'**

**Item № 6**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'X'**

**Item № 7**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'BB'**

**Item № 8**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'CC'**

**Item № 9**

See Page 9 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 9)      **SUBTOTAL 'I'**      \$ \_\_\_\_\_

**(J) ST. ANNE CATHOLIC SCHOOL – BLENHEIM****Roof Area 'B'****Item № 1**

See Page 10 of 16\_ from Scope of Work

\$ \_\_\_\_\_

**Item № 2**

See Page 10 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'****Item № 3**

See Page 10 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 10 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'****Item № 5**

See Page 10 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 5)****SUBTOTAL 'J'****\$ \_\_\_\_\_****(K) ST. MICHAEL CATHOLIC SCHOOL – RIDGETOWN****Roof Area 'B'****Item № 1**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'****Item № 2**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'****Item № 3**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'****Item № 4**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'****Item № 5**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'G'****Item № 6**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'H'**

**Item № 7**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'I'**

**Item № 8**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'J'**

**Item № 9**

See Page 11 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 9)      **SUBTOTAL 'K'**      **\$ \_\_\_\_\_**

**(L) GOOD SHEPHERD CATHOLIC SCHOOL – THAMESVILLE**

**Roof Area 'A'**

**Item № 1**

See Page 12 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'**

**Item № 2**

See Page 12 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item № 3**

See Page 12 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 4**

See Page 12 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 4)      **SUBTOTAL 'L'**      **\$ \_\_\_\_\_**

**(M) CATHOLIC EDUCATION CENTRE – WALLACEBURG**

**Roof Area 'B'**

**Item № 1**

See Page 13 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'**

**Item № 2**

See Page 13 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 2)      **SUBTOTAL 'M'**      **\$ \_\_\_\_\_**



**(N) CHRIST THE KING CATHOLIC SCHOOL – WALLACEBURG**

**Roof Area 'A'**

**Item No 1**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'B'**

**Item No 2**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 3**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 4**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'**

**Item No 5**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 6**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 7**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'**

**Item No 8**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'**

**Item No 9**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 10**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item No 11**

See Page 14 of 16 from Scope of Work

\$ \_\_\_\_\_

(Total of Items 1 thru 11)      **SUBTOTAL 'N'**      \$ \_\_\_\_\_

**(O) HOLY FAMILY CATHOLIC SCHOOL – WALLACEBURG**

**Roof Area 'A'**

**Item No 1**

See Page 15 of 16\_ from Scope of Work

\$ \_\_\_\_\_

**Item No 2**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 3**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'C'****Item № 4**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 5**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'D'****Item № 6**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 7**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**Item № 8**

See Page 15 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 8)****SUBTOTAL 'O'****\$ \_\_\_\_\_****(P) ST. ELIZABETH CATHOLIC SCHOOL – WALLACEBURG****Roof Area 'D'****Item № 1**

See Page 16 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'E'****Item № 2**

See Page 16 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'F'****Item № 3**

See Page 16 of 16 from Scope of Work

\$ \_\_\_\_\_

**Roof Area 'H'****Item № 4**

See Page 16 of 16 from Scope of Work

\$ \_\_\_\_\_

**(Total of Items 1 thru 4)****SUBTOTAL 'P'****\$ \_\_\_\_\_****Total Tender Price "A" (Excluding HST)  
(Total of Subtotal 'A' Thru 'P')****\$ \_\_\_\_\_****Add 13% HST****\$ \_\_\_\_\_****Total Tender Price "A" (Including HST)****\$ \_\_\_\_\_**

**ROOF MAINTENANCE PROGRAM  
ST. JOSEPH CATHOLIC SCHOOL  
43 ST. CLAIR STREET, TILBURY**

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**ROOF AREA 'B'**

1. Metal Cap Flashing is required to be refastened along parapet wall with neoprene fasteners matching colour of metal cap flashing and then all joints along with surface nails are required to have sealant applied at each location matching colour of metal cap flashing. (**ONE FASTENER EVERY 3 FEET – TOTAL LENGTH OF 62 FEET**)

**ROOF AREA 'C'**

2. Metal Cap Flashing is required to be refastened along parapet wall with neoprene fasteners matching colour of metal cap flashing and then all joints along with surface nails are required to have sealant applied at each location matching colour of metal cap flashing. (**ONE FASTENER EVERY 3 FEET – TOTAL LENGTH OF 115 FEET**)

**ROOF AREA 'D'**

3. Additional sealant is required around the vent pipe stack to flange of vent pipe. (**TOTAL OF 8 VENT PIPE STACKS**)
4. Apply spray foam within the roof penetration around the electrical conduit penetration and then reinstall rubber cap on top to avoid a condensation issue. (**TOTAL OF 6 PENETRATIONS TO RECEIVE SPRAY FOAM**)

**ROOF AREA 'E'**

5. Existing granulated surface cap flashing membrane has opened up @ southwest corner of this area. The existing cap flashing is required to be heat welded to re-adhere to surface below, then heat the surface to embed granules on top prior to applying gusset membrane on top in the corner.
6. Apply spray foam within the roof penetration around the electrical conduit penetration and then reinstall rubber cap on top to avoid a condensation issue. (**TOTAL OF 6 PENETRATIONS TO RECEIVE SPRAY FOAM**)
7. Additional sealant is required around the vent pipe stack to flange of vent pipe. (**TOTAL OF 8 VENT PIPE STACKS**)

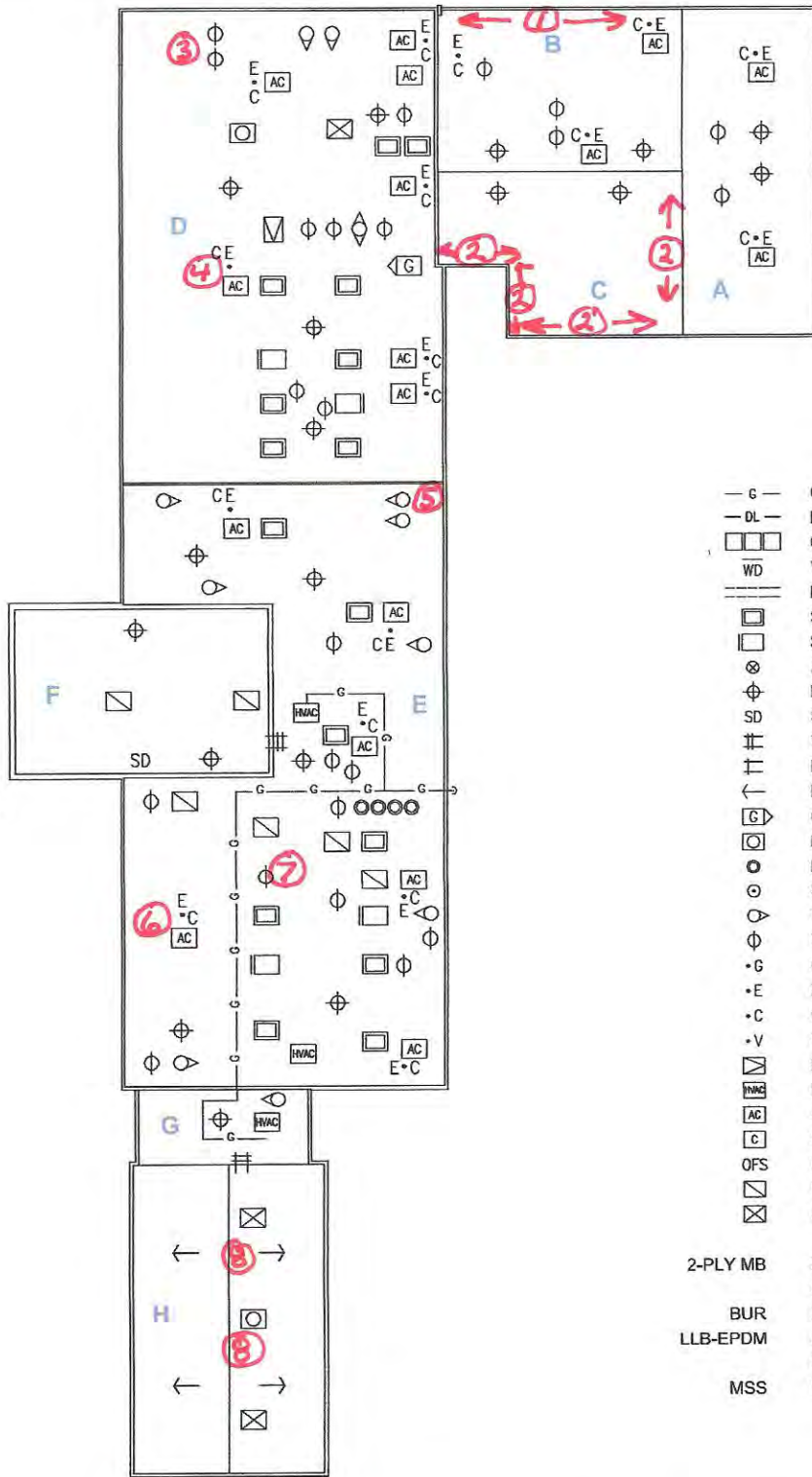
**ROOF AREA 'H'**

8. Since the existing mastic repairs have split open it is recommended that new Sopramastic be applied over top with mesh and then additional Sopramastic on top prior to embedding white granules on top. (**TOTAL OF 20 LINEAR FEET**)

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

Main Entrance



- G - GAS LINE
- DL - DRAIN LINE
- ☐☐☐ CONCRETE PAVERS
- WD WALL DRAIN
- ==== EAVESTROUGH
- ☐ SKYLIGHT
- ☐ SKYLIGHT w/ EXHAUST
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊢ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⊢ GOOSENECK EXHAUST FAN
- ⊕ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- STATIC EXHAUST VENT
- VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊗ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- ☐ CHIMNEY
- FS OVERFLOW SCUPPER
- ⊗ RELIEF VENT
- ⊗ ABANDONED ROOF CURB
  
- 2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
- BUR BUILT-UP ROOF SYSTEM
- LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE
- MSS METAL STANDING SEAM

ROOFING DATA	A	B	C	D	E	F	G	H						
WARRANTY	expired	expired	expired	expired	expired	expired	expired	expired						
LAST ROOFING	1997	1993	1995	2005	2005	2005	2005	1983						
CONSTRUCTED	1997	1993	1995	1967	1964	1964	1983	1983						
ROOFING TYPE	LLB-EPDM	LLB-EPDM	LLB-EPDM	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	MSS						
AREA (SQ. FT.)	2,610	2,810	2,010	9,580	10,770	2,540	760	4,080						

636

St. Joseph Catholic School

43 St. Clair Street, Tilbury, ON, N0P 2L0



ROOF PLAN  
Scale 1:550 (Metric)

09/24/2015



ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD

Lighting the Way ~ Rejoicing in Our Journey

**ROOF CONDITION REVIEW**  
**ST. JOSEPH CATHOLIC SCHOOL**  
**25 RALEIGH STREET, CHATHAM ONTARIO**  
**N7M 2M6**

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**ROOF AREA 'A'**

1. The entire roof area is to be cleaned of all roofing debris. **(TOTAL OF 120 FT<sup>2</sup>)**

**ROOF AREA 'B'**

2. The entire roof area is to be cleaned of all roofing debris (items which are not part of the roof system).
3. The Single Ply EPDM Membrane is required to be re-flashed at the base of the north duct thru roof.
4. New insulation cushions are required to be installed beneath the wood supports for gas line (with a bead of PL construction adhesive). **(TOTAL OF 10 SUPPORTS)**
5. Remove all wooden pallets from roof area.
6. Provide new protective coating (Armour Flex) over top cooling lines for AC Unit.

**ROOF AREA 'C'**

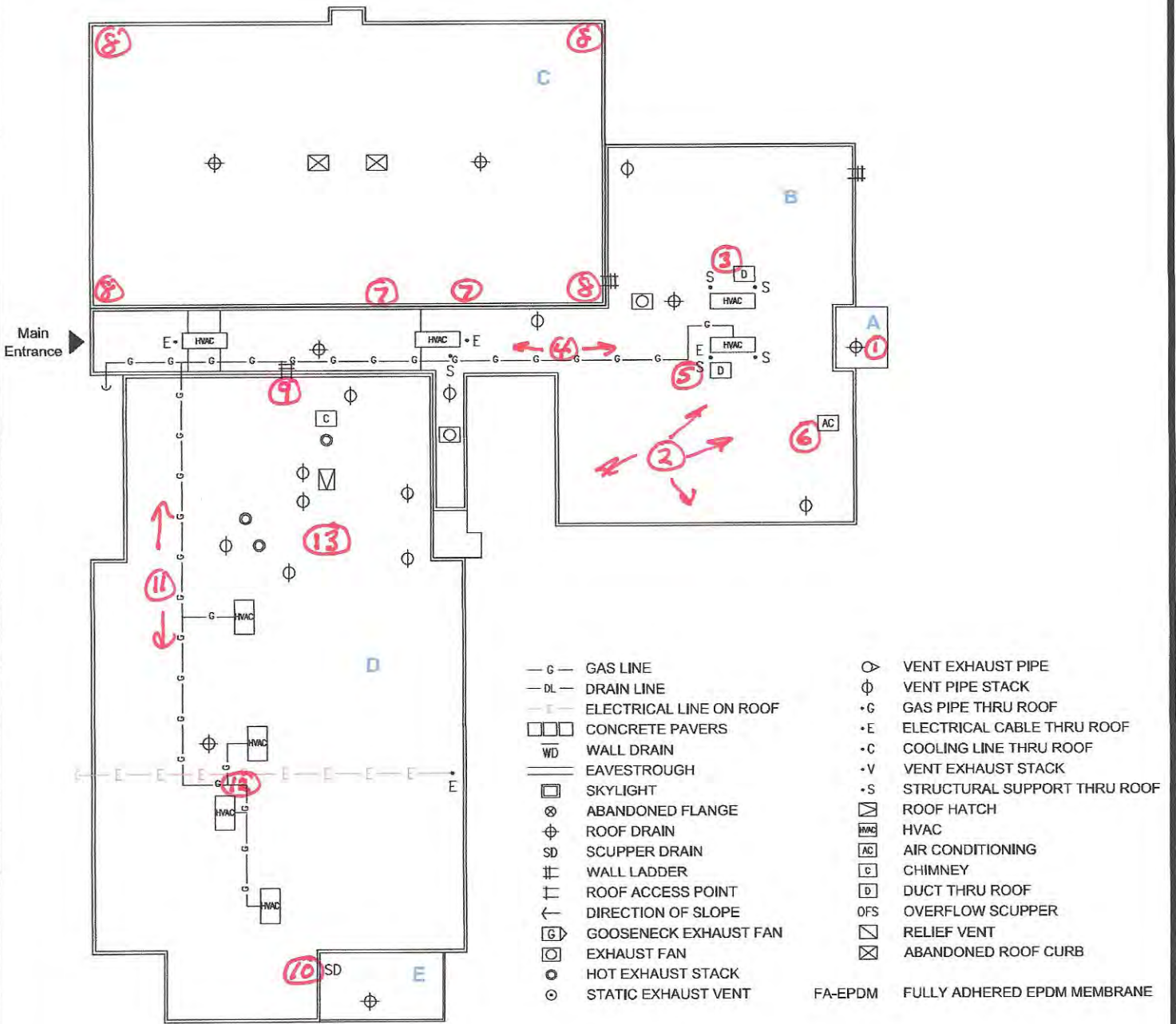
7. The EPDM Flashing Membrane at the change of direction is bridging and it is required to be cut-up the vertical wall then re-adhered to the insulation prior to fully adhering a new 12inch strip of cured membrane over top the section which was cut-out and then sealed along the edges with lap sealant. **(TOTAL OF 15 FEET)**
8. Additional concrete pavers are required on one inch insulation cushions in all four corners of this area. **(TOTAL OF 12 CONCRETE PAVERS)**

**ROOF AREA 'D'**

9. The lags for securing the top of wall ladder are to be removed and new larger diameter lags are to be installed for better securement. **(TOTAL OF 2 LAGS)**
10. A new outlet at scupper drain is required to be installed into the downpipe to eliminate the water flowing down the exterior wall of building.
11. New insulation cushions are required to be installed beneath the wood supports for gas lines (with a bead of PL Construction Adhesive). **(TOTAL OF 10 SUPPORTS)**
12. Existing flashing patches which have now opened up require to be resealed with a new flashing membrane once the existing membrane is washed and clean in order to receive the new flashing membrane. **(TOTAL OF 6 PATCHES REQUIRED)**
13. The Single Ply Membrane is required to be cut-out around the recessed roof area (25 ft<sup>2</sup>) to allow for additional insulation to be installed prior to installing a new membrane on top with at least 6 inch overlap (splice) in the membrane and the edge sealed with lap sealant.

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***



- G - GAS LINE
- DL - DRAIN LINE
- E - ELECTRICAL LINE ON ROOF
- [ ] [ ] CONCRETE PAVERS
- WD WALL DRAIN
- ===== EAVESTROUGH
- [ ] SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊢ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- [G] GOOSENECK EXHAUST FAN
- [ ] EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT
- ⊙ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- S STRUCTURAL SUPPORT THRU ROOF
- [ ] ROOF HATCH
- [HVAC] HVAC
- [AC] AIR CONDITIONING
- [C] CHIMNEY
- [D] DUCT THRU ROOF
- [OFS] OVERFLOW SCUPPER
- [ ] RELIEF VENT
- [ ] ABANDONED ROOF CURB
- FA-EPDM FULLY ADHERED EPDM MEMBRANE

ROOFING DATA	A	B	C	D	E									
WARRANTY	09/15/2018	09/15/2018	09/15/2018	09/15/2018	09/15/2018									
LAST ROOFING	1998	1998	1998	1998	1998									
CONSTRUCTED	1965	1965	1965	1955	1955									
ROOFING TYPE	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM									
AREA (SQ. FT.)	120	4,330	4,110	5,540	210									

<b>633</b>	<b>St. Joseph</b> Catholic School 25 Raleigh Street, Chatham, ON, N7M 2M6		<b>ROOF PLAN</b> Scale 1:300 (Metric)	<b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way ~ Rejoicing in Our Journey</i>
			09/24/2015	

**ROOF CONDITION REVIEW**  
**OUR LADY OF FATIMA CATHOLIC SCHOOL**  
**545 BALDOON ROAD, CHATHAM ONTARIO N7L 5A9**

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**ROOF AREA 'A'**

1. The existing single ply membrane which has deformed due to substance spilled on top is required to be cut out and to be covered over with new 12" x 12" EPDM membrane (60 mil non-reinforced membrane with tape splices and lap sealant). **(TOTAL OF ONE PATCH)**

**ROOF AREA 'B'**

2. The existing electrical conduits through the side of roof curb for HVAC Units is not completely sealed. It is suggested that Sikaflex 1a Sealant be applied around all electrical conduits that penetrate the side wall of roof curb to ensure a water-tight condition is maintained. **(TOTAL OF 3 UNITS)**
3. The existing insulation cushion beneath the wood blocking for gas line supports are required to be removed and replaced with one inch insulation cushion – Type 4 (All edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). ALSO NEW METAL U-LAMPS ARE REQUIRED OVER TOP THE GAS LINES AND SECURED TO THE EXISTING WOOD BLOCKS. **(TOTAL OF 14 SUPPORTS)**
4. The existing single ply EPDM membrane is bridging along the bottom of Area "C". It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc/fasteners prior to applying a cover strip (60 mil non-reinforced EPDM membrane with tape splices and lap sealant) over top covering the securement strip at least 3 inches all around. **(TOTAL OF 25 LINEAR FEET)**

**ROOF AREA 'C'**

5. The roof drain is plugged and is required to be unplugged by first attempt with plunger and if not corrected then by electric eel.
6. Additional neoprene fasteners are required on top the metal cap flashing to secure metal cap in place and to avoid further metal cap tearing apart. **(TOTAL OF 40 FASTENERS)**
7. The existing insulation cushion beneath the wood blocking for gas line supports are required to be removed and replaced with one inch insulation cushion – Type 4 (All edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). ALSO NEW METAL C-LAMPS ARE REQUIRED OVER TOP THE GAS LINES AND SECURED TO THE EXISTING WOOD BLOCKS. **(TOTAL OF 5 SUPPORTS)**

**ROOF AREA 'D'**

8. The existing insulation cushion beneath the wood block for gas line supports are required to be removed and replaced with one inch insulation cushion – Type 4 (All edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). HALF-DOZEN ADDITIONAL WOOD SUPPORTS (4X4) WILL BE REQUIRED TO FILL IN THE GAP EXCEEDING MORE THAN 10 FEET. ALSO NEW METAL CLAMPS ARE REQUIRED OVER TOP THE GAS LINES AND SECURED TO THE EXISTING WOOD BLOCKS. **(TOTAL OF 10 SUPPORTS)**

9. EXISTING SINGLE PLY EPDM MEMBRANE IS REQUIRED TO BE WASHED PRIOR TO APPLYING HP250 PRIMER WITH PRESSURE SENSITIVE PATCH MEMBRANE ON TOP OF TWO AREAS WHERE THE EXISTING SINGLE PLY MEMBRANE SHOW SIGNS OF FATIGUE AND HAVE OPENED UP CREATING A PUNCTURE.
10. A total of twelve (12) concrete pavers (1½” x 1½” x 24”) with insulation cushion (24” x 24” x 1”) beneath the concrete pavers are to be placed in two rows across the south end of Area “D” next to the peastone roof area to avoid wind up-lift of the single ply membrane.
11. The Contractor is to supply and install thirty (30) feet of overlay cover strip six (6) inches wide over existing field splices in this area that have started to open up to extend the service life.

**ROOF AREA ‘E’**

12. The Contractor is to supply and install twenty (20) feet of overlay cover strip six (6) inches wide over existing field splices in this area that have started to open up to extend the service life.

**ROOF AREA ‘F’**

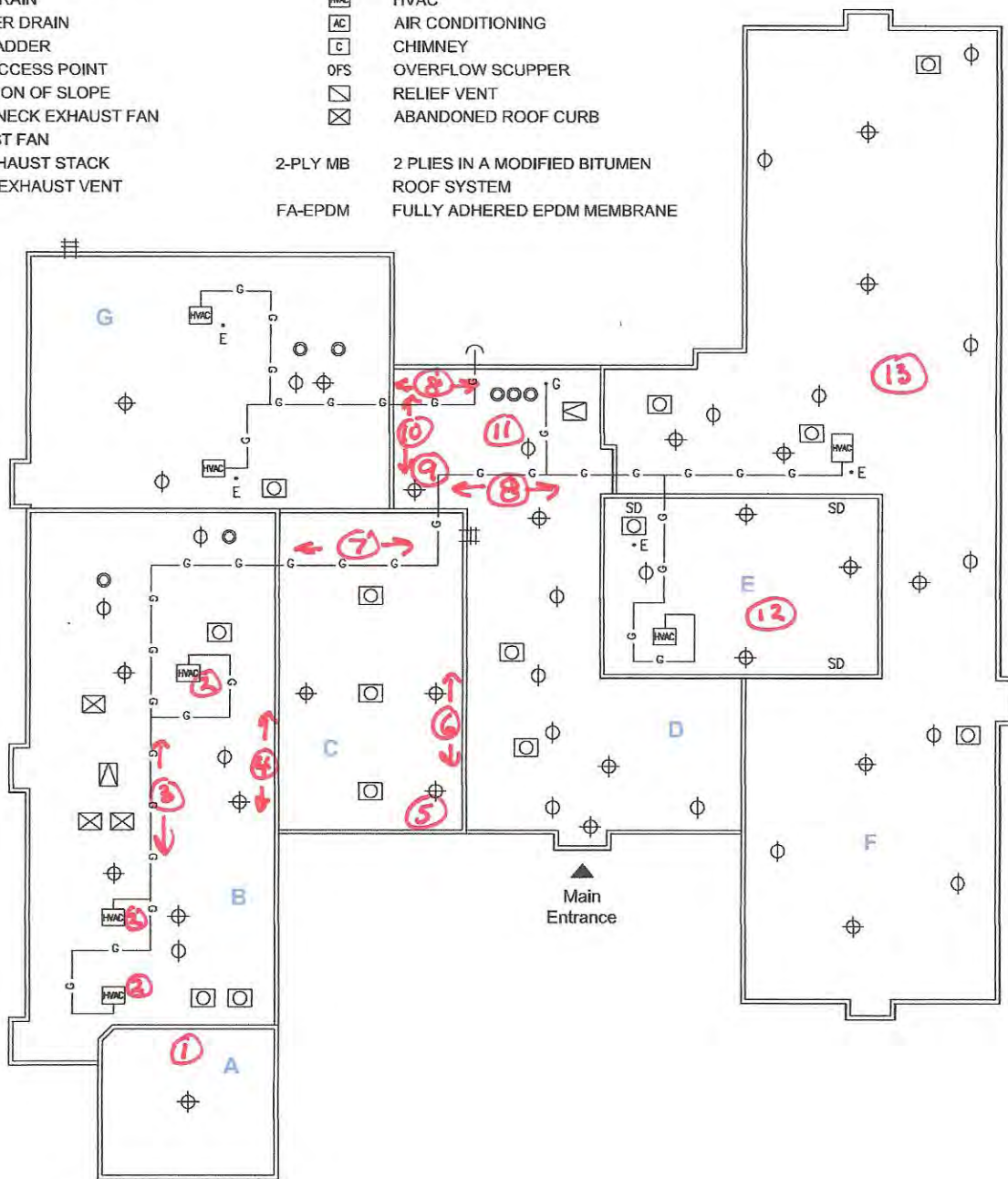
13. The Contractor is to supply and install fifty (50) feet of overlay cover strip six (6) inches wide over existing field splices in this area that have started to open up to extend the service life.

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***



- G - GAS LINE
  - DL - DRAIN LINE
  - □ □ CONCRETE PAVERS
  - WD WALL DRAIN
  - EAVESTROUGH
  - SKYLIGHT
  - ⊗ ABANDONED FLANGE
  - ⊕ ROOF DRAIN
  - SD SCUPPER DRAIN
  - ≡ WALL LADDER
  - ≡ ROOF ACCESS POINT
  - ← DIRECTION OF SLOPE
  - ⊠ GOOSENECK EXHAUST FAN
  - ⊙ EXHAUST FAN
  - ⊙ HOT EXHAUST STACK
  - ⊙ STATIC EXHAUST VENT
  - ⊕ VENT EXHAUST PIPE
  - ⊕ VENT PIPE STACK
  - G GAS PIPE THRU ROOF
  - E ELECTRICAL CABLE THRU ROOF
  - C COOLING LINE THRU ROOF
  - V VENT EXHAUST STACK
  - ⊠ ROOF HATCH
  - HVAC HVAC
  - AC AIR CONDITIONING
  - C CHIMNEY
  - OFS OVERFLOW SCUPPER
  - ⊠ RELIEF VENT
  - ⊠ ABANDONED ROOF CURB
- 2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM  
 FA-EPDM FULLY ADHERED EPDM MEMBRANE



ROOFING DATA	A	B	C	D	E	F	G							
WARRANTY	expired	expired	expired	expired	expired	expired	08/14/2030							
LAST ROOFING	1995	1995	1995	1995	1995	1995	2015							
CONSTRUCTED	1977	1977	1977	1977	1977	1977	1987							
ROOFING TYPE	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	2-PLY MB							
AREA (SQ. FT.)	1,640	8,280	3,600	5,410	3,160	14,300	5,360							

<b>619</b>	<b>Our Lady of Fatima</b> Catholic School		<b>ROOF PLAN</b> Scale 1:500 (Metric)	 <b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way ~ Rejoicing in Our Journey</i>
	545 Baldoon Road, Chatham, ON, N7L 5A9		09/22/2015	

**ROOF CONDITION REVIEW  
MONSIGNOR UYEN CATHOLIC SCHOOL  
255 LARK STREET, CHATHAM ONTARIO N7L 1G9**

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**ROOF AREA 'A'**

1. The existing membrane is to be washed and clean around puncture in single ply membrane prior to installing new flashing membrane with lap sealant around the edges.
2. The EPDM flashing membrane at the change of direction is bridging and it is required to be cut up the vertical wall then re-adhered to the insulation prior to fully adhering a new 12 inch strip of cured membrane over top the section which was cut out and then all edges sealed with lap sealant.

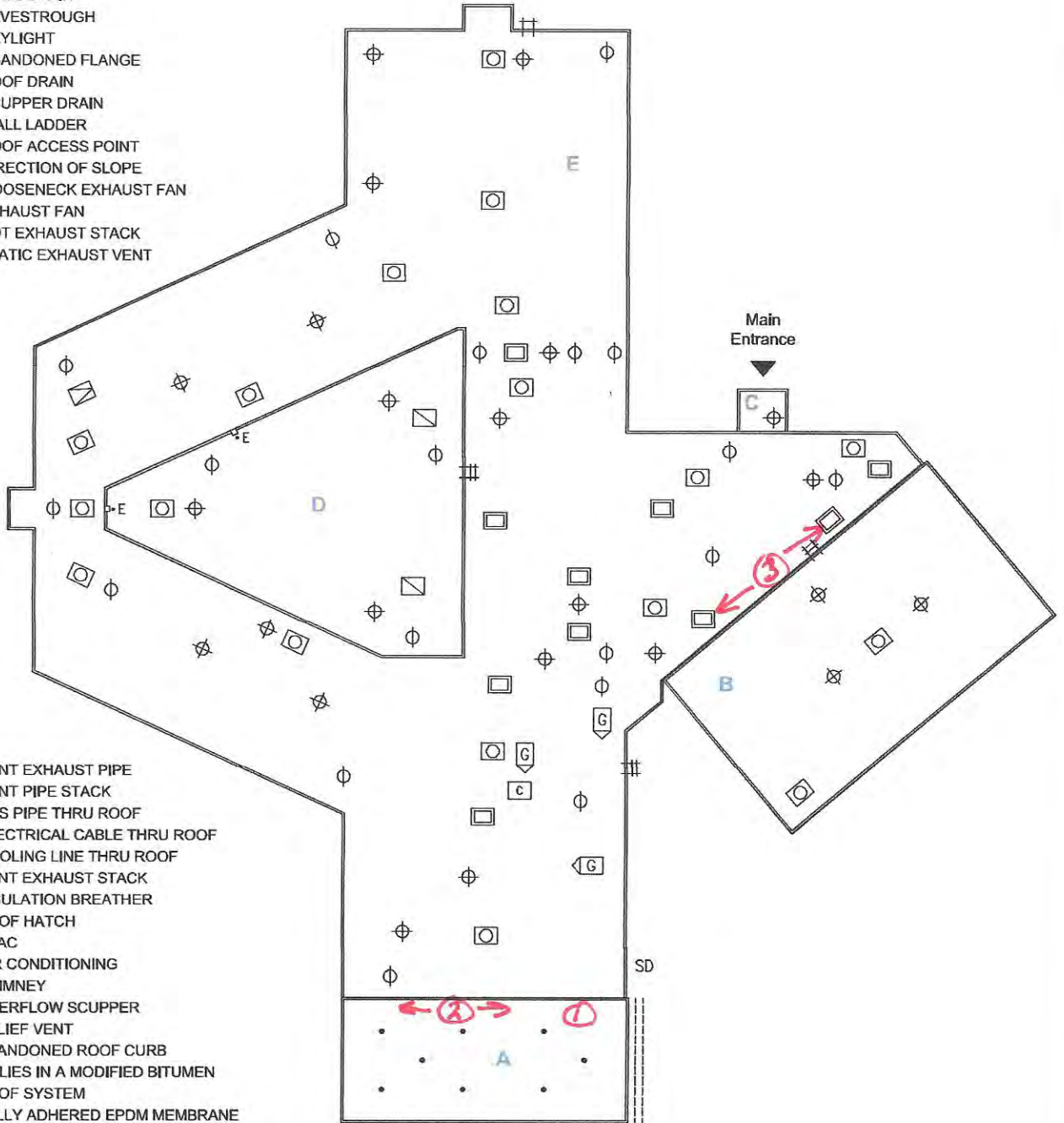
**ROOF AREA 'E'**

3. All control joints within the stone texture panels below Roof Area 'B' (Above Area 'E') are required to be sealed with sealant (Sikaflex 1a) with colour to match as close as possible to the stone texture.  
**(ALLOW FOR 130 LINEAR FEET OF CONTROL JOINT TO BE SEALED)**

**NOTE:**



***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
- DL — DRAIN LINE
- □ □ CONCRETE PAVERS
- WD WALL DRAIN
- EAVESTROUGH
- ☐ SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ☐ G GOOSENECK EXHAUST FAN
- ☐ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT



- ⊕ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- INSULATION BREATHER
- ☐ ROOF HATCH
- ☐ HVAC
- ☐ AIR CONDITIONING
- ☐ CHIMNEY
- ☐ OFS OVERFLOW SCUPPER
- ☐ RELIEF VENT
- ☐ ABANDONED ROOF CURB
- 2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
- FA-EPDM FULLY ADHERED EPDM MEMBRANE

ROOFING DATA	A	B	C	D	E									
WARRANTY	expired	11/01/2015	11/01/2015	11/01/2015	11/01/2015									
LAST ROOFING	1991	2005	2005	2005	2005									
CONSTRUCTED	1991	1968	1968	1968	1968									
ROOFING TYPE	FA-EPDM	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB									
AREA (SQ. FT.)	1,980	3,680	100	3,550	22,380									

<b>618</b>	<b>Monsignor Uyen</b> <b>Catholic School</b>		<b>ROOF PLAN</b> Scale 1:450 (Metric)	 <b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way - Rejoicing in Our Journey</i>
	255 Lark Street, Chatham, ON, N7L 1G9		09/24/2015	

**ROOF CONDITION REVIEW**  
**ST. URSULA CATHOLIC SCHOOL**  
**426 LACROIX STREET, CHATHAM ONTARIO**  
**N7M 2E3**

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**ROOF AREA 'E'**

1. The Single Ply Membrane is required to be cut two (2) feet around the north roof drain, then the roof drain is to be lowered (sump around roof drain), then new single ply membrane to be fully adhered with four (4) inch splice and then six (6) inch overlap cover strip around the perimeter of new membrane with all edges sealed with lap sealant.

**ROOF AREA 'G'**

2. The flashing membrane around the exhaust fan is required to be re-flashed in order to reseal the fishmouths. **(TOTAL OF 4 PATCHES)**

**ROOF AREA 'I'**

3. The pitch pocket around the vent pipe stack is required to be refilled. **(TOTAL OF 4 PITCH POCKETS)**
4. The delaminated modified bitumen granulated surface cap sheet membrane is to be repaired under warranty.

**ROOF AREA 'J'**

5. This roof system is under warranty and the roof around the roof drain should be sumped in order to avoid ponding of water on majority of this roof area.

**ROOF AREA 'K'**

6. The Single Ply Membrane is required to be cut two (2) feet around the west roof drain, then the roof drain is to be lowered (sumped around roof drain), then new single ply membrane to be fully adhered with four (4) inch splice and then six (6) inch overlap cover strip around the perimeter of new membrane with all edges sealed with lap sealant.

**ROOF AREA 'L'**

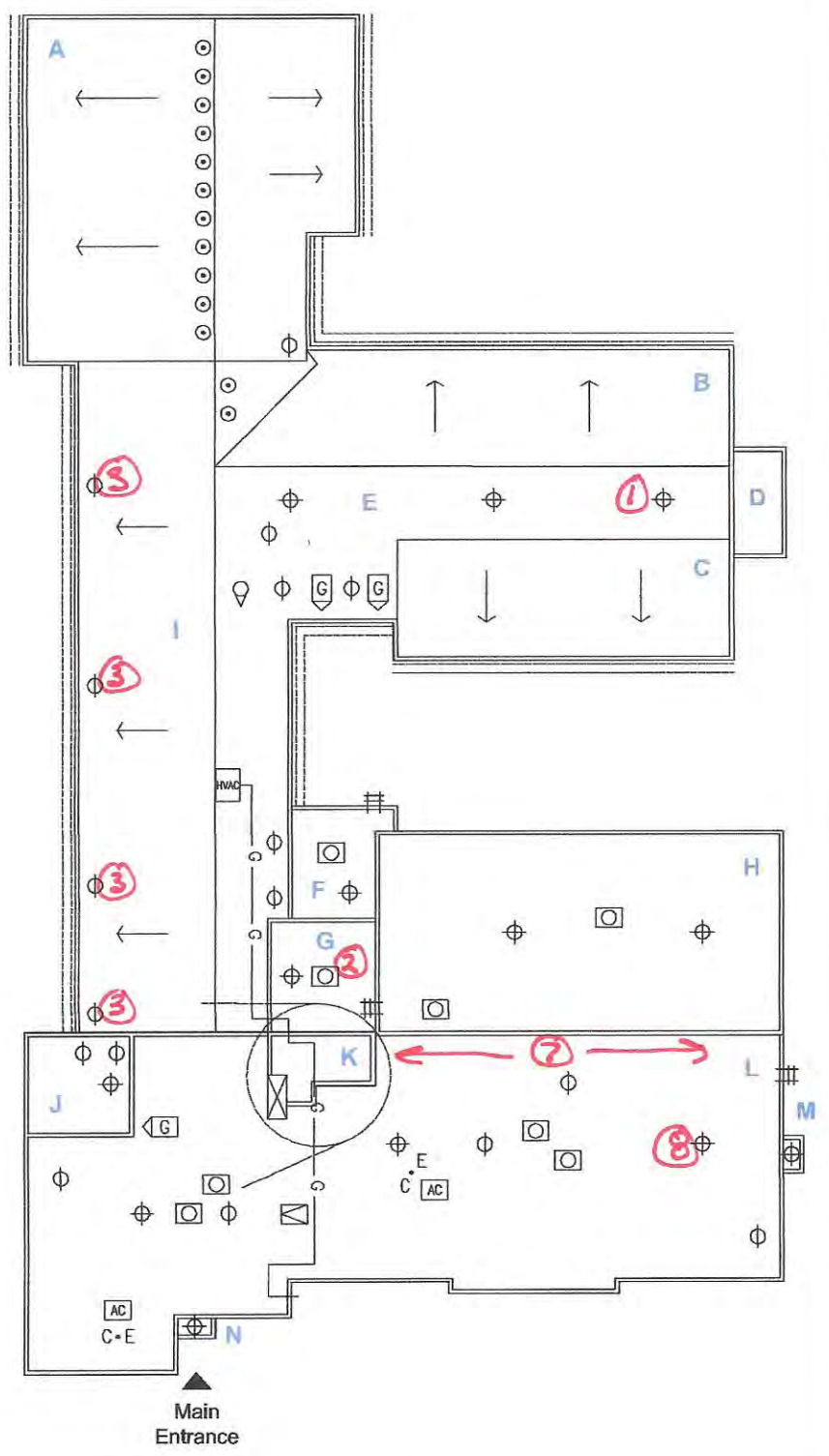
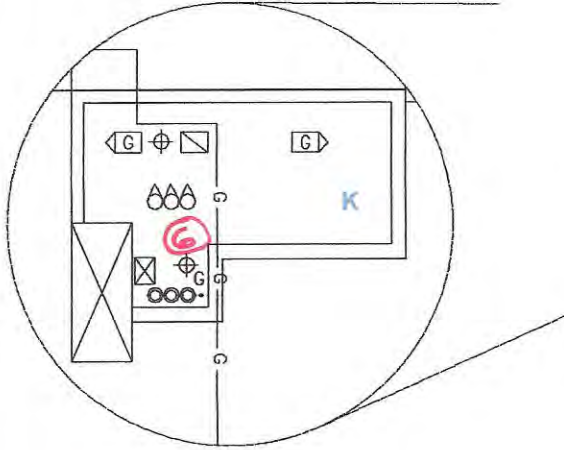
7. The sealant along the top of the reglet is required to be removed and replaced with new sealant in order to complete a water-tight seal. **(TOTAL OF 78 LINEAR FEET)**
8. The cap sheet around the north drain is required to be primed before torch applying 180 granulated surface cap sheet (5 rows wide by 20 feet long).

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G - GAS LINE
- DL - DRAIN LINE
- CONCRETE PAVERS
- WD WALL DRAIN
- ══ EAVESTROUGH
- SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ↑ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⊕ GOOSENECK EXHAUST FAN
- ⊕ EXHAUST FAN
- ⊕ HOT EXHAUST STACK
- ⊕ STATIC EXHAUST VENT
- ⊕ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊕ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- ⊕ CHIMNEY
- OFS OVERFLOW SCUPPER
- ⊕ RELIEF VENT
- ⊕ ABANDONED ROOF CURB

2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM  
 BUR BUILT-UP ROOF SYSTEM  
 FA-EPDM FULLY ADHERED EPDM MEMBRANE



ROOFING DATA	A	B	C	D	E	F	G	H	I	J	K	L	M	N
WARRANTY						08/10/2025	08/10/2025	08/15/2016			08/10/2025	08/10/2025	08/10/2025	08/10/2025
LAST ROOFING	1996	1986	1986	1986	1986	2010	2010	2006	1982	1992	2010	2010	2010	2010
CONSTRUCTED	1996	1958	1958	1958	1958	1958	1958	1958	1958	1969	1969	1969	1969	1969
ROOFING TYPE	2-PLY MB	2-PLY MB	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	2-PLY MB	2-PLY MB	FA-EPDM	2-PLY MB	2-PLY MB	2-PLY MB
AREA (SQ. FT.)	5,350	3,310	2,100	220	3,480	480	890	3,660	3,810	600	480	7,730	60	80

<b>647</b>	<b>St. Ursula</b> Catholic School 426 Lacroix Street, Chatham, ON, N7M 2W3		<b>ROOF PLAN</b> Scale 1:450 (Metric)	 <b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way ~ Rejoicing in Our Journey</i>
			09/24/2015	

**ROOF MAINTENANCE PROGRAM  
GEORGES P. VANIER CATHOLIC SCHOOL  
20 CECILE AVENUE, CHATHAM ONTARIO N7M 2C3**

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**ROOF AREA 'A'**

1. The Existing Single Ply Membrane is bridging along the north perimeter of this roof area. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splices with lap sealant) over top covering the securement strip at least 3 inches all around. **(TOTAL OF 40 LINEAR FEET)**

**ROOF AREA 'C'**

2. All field splices are required to be cleaned prior to applying HP250 Primer with 6" wide overlayment strip over top all field splices (with 3" on each side of the lap) and then seal all edges with lap sealant (**ALL FOR 50 LINEAR FEET IN TOTAL**).

**ROOF AREA 'D'**

3. The Existing Single Ply Membrane is bridging at various locations around the roof perimeter. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splices with lap sealant) over top covering the securement strip at least 3 inches all around (**ALL FOR 120 LINEAR FEET IN TOTAL**).
4. All field splices are required to be cleaned prior to applying HP250 Primer with 6" wide overlayment strip over top all field splices (with 3" on each side of the lap) and then seal all edges with lap sealant (**ALL FOR 240 LINEAR FEET IN TOTAL**).

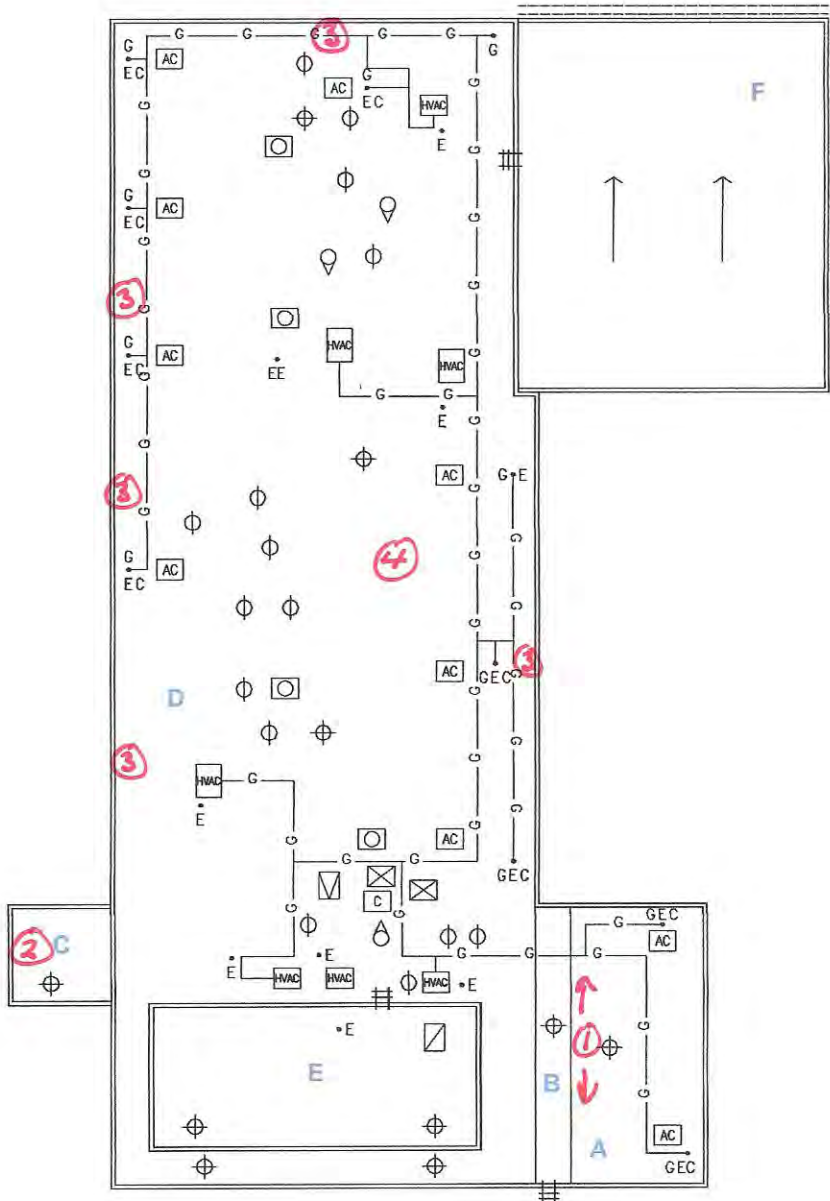
**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
- DL — DRAIN LINE
- □ □ CONCRETE PAVERS
- WD WALL DRAIN
- EAVESTROUGH
- SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⊞ GOOSENECK EXHAUST FAN
- ⊙ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT
- ⊙ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- EE ELECTRICAL EYE SENSOR
- ⊞ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- E CHIMNEY
- OFS OVERFLOW SCUPPER
- ⊞ RELIEF VENT
- ⊞ ABANDONED ROOF CURB

- 2-PLY M.B. 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
- BUR BUILT-UP ROOF SYSTEM
- FA-EPDM FULLY ADHERED EPDM MEMBRANE
- LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE
- MSS METAL STANDING SEAM

Main Entrance →



ROOFING DATA	A	B	C	D	E	F								
WARRANTY	expired	expired	expired	08/17/2017	expired	expired								
LAST ROOFING	1992	1992	1994	1997	1986	1994								
CONSTRUCTED	1992	1992		1967	1967									
ROOFING TYPE	LLB-EPDM	LLB-EPDM	FA-EPDM	FA-EPDM	BUR	MSS								
AREA (SQ. FT.)	1,860	300	510	17,040	2,230	4,760								

614

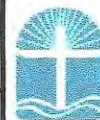
Georges P. Vanier  
Catholic School

20 Cecile Avenue, Chatham, ON, N7M 2C3



ROOF PLAN  
Scale 1:450 (Metric)

09/23/2015



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD  
*Lighting the Way - Rejoicing in Our Journey*

**ROOF MAINTENANCE PROGRAM  
ST. VINCENT CATHOLIC SCHOOL  
9399 McNAUGHTON LINE EAST - CHATHAM, ONTARIO N7M 5J1**

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**ROOF AREA 'A'**

1. The EPDM Flashing Membrane at the change of direction is bridging and it is required to be cut up the vertical wall then re-adhered to the insulation prior to fully adhering a new 12 inch strip of cured membrane over top the section which was cut out and then sealed along the edges with lap sealant. **(ALLOW FOR 10 LINEAR FEET IN TOTAL)**

**ROOF AREA 'B'**

2. The EPDM Flashing Membrane at the change of direction is bridging and it is required to be cut up the vertical wall then re-adhered to the insulation prior to fully adhering a new 12 inch strip of cured membrane over top the section which was cut out and then sealed along the edges with lap sealant. **(ALLOW FOR 10 LINEAR FEET IN TOTAL)**

**ROOF AREA 'C'**

3. Additional support is required beneath the metal standing seam roof system. Any weight on the current roof system against the wall of Area 'D' will cause the roof system to defect.

**ROOF AREA 'E'**

The Existing Single Ply Membrane is bridging. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splices with lap sealant) over top covering the securement strip at least 3 inches all around. **(ALLOW FOR 20 LINEAR FEET IN TOTAL)**

**ROOF AREA 'F'**

The Single Ply EPDM Membrane is delaminating within the corners of this roof area. It is recommended that a concrete paver (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") in all locations indicated on the Enclosed Drawing. **(TOTAL OF 12 PAVERS)**

**ROOF AREA 'G'**

6. The parapet wall is required to be cut out for installation of scupper drain (6 inch wide) on the east and west parapets. Then the scupper drain is required to be flashed in with 60 mil non-reinforced membrane with tape splices and lap sealant.
7. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan. **TOTAL OF 44 PAVERS**
8. The Single Ply EPDM Membrane which is punctured is required to be sealed over top with pressure-sensitive membrane with lap sealant around all edges.



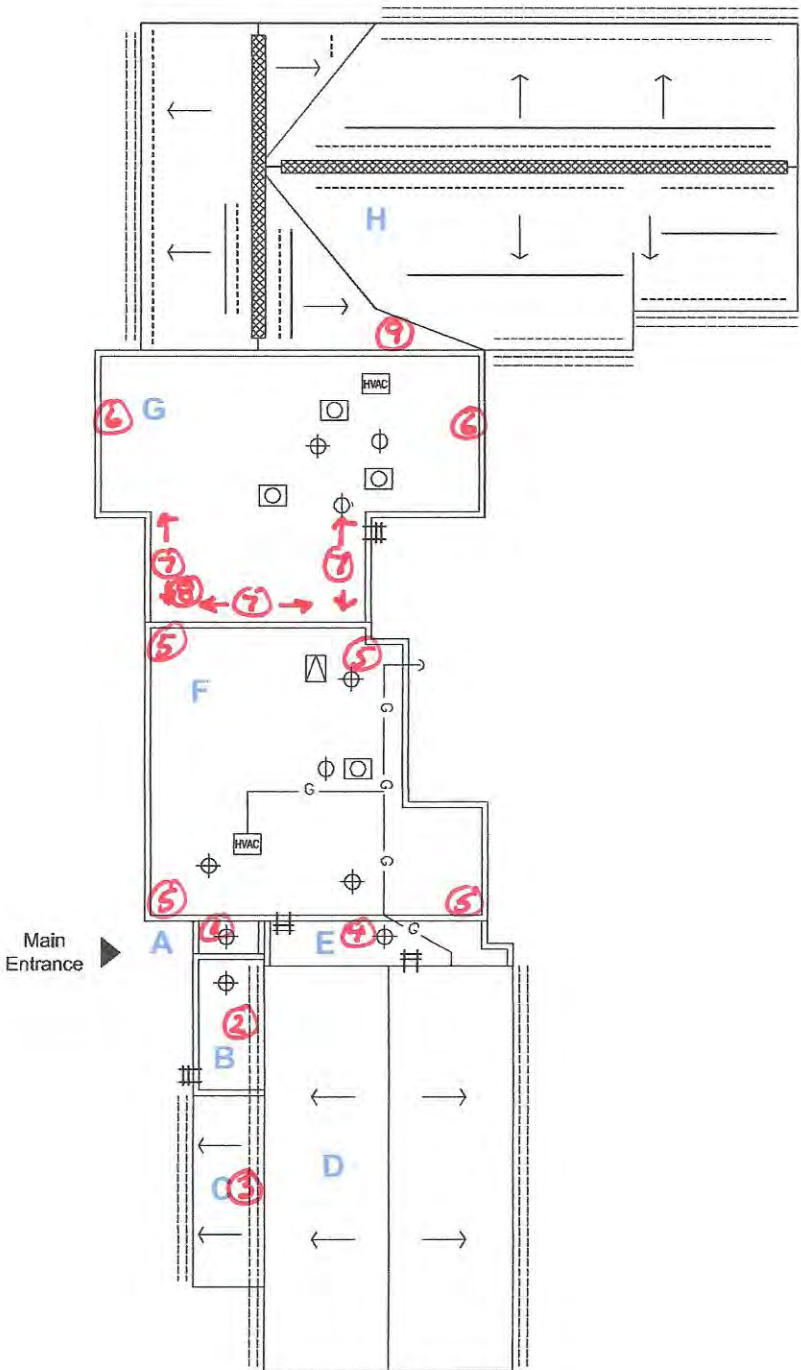
**ROOF AREA 'H'**

9. The existing granulated surface cap sheet membrane at the valley area (70 ft<sup>2</sup>) is required to be coated with MB Gold Solution and then embed granules matching existing colour.

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
- DL — DRAIN LINE
- E — ELECTRICAL LINE
- □ □ CONCRETE PAVERS
- WD WALL DRAIN
- EAVESTROUGH
- SKYLIGHT
- ABANDONED FLANGE
- ROOF DRAIN
- SD SCUPPER DRAIN
- WALL LADDER
- ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- GOOSENECK EXHAUST FAN
- EXHAUST FAN
- RIDGE VENT
- CORNICE VENTING
- EDGE VENTING
- HOT EXHAUST STACK
- STATIC EXHAUST VENT
- VENT EXHAUST PIPE
- VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ROOF HATCH
- HVAC
- AIR CONDITIONING
- CHIMNEY
- OVERFLOW SCUPPER
- RELIEF VENT
- ABANDONED ROOF CURB
- FA-EPDM FULLY ADHERED EPDM MEMBRANE
- LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE
- MSS METAL STANDING SEAM



ROOFING DATA	A	B	C	D	E	F	G	H						
WARRANTY	expired	expired	expired	expired	expired	08/23/2029	expired	07/17/2033						
LAST ROOFING	1997	1997	1997	1989	1997	2009	2005	2013						
CONSTRUCTED	1996	1997	1997	1989	1989	1961-86	1961	1985						
ROOFING TYPE	LLB-EPDM	LLB-EPDM	MSS	MSS	LLB-EPDM	FA-EPDM	FA-EPDM	ASPHALT SHINGLES						
AREA (SQ. FT.)	240	280	550	3,690	830	3,730	4,080	8,480						

648	<b>St. Vincent Catholic School</b> 9399 McNaughton Line East Chatham, ON N7M 5J1		<b>ROOF PLAN</b> Scale 1:450 (Metric)	<b>ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD</b> <i>Lighting the Way ~ Rejoicing in Our Journey</i>
	10/02/2015			

**ROOF MAINTENANCE PROGRAM  
ST. AGNES CATHOLIC SCHOOL  
55 CROYDON STREET - CHATHAM, ONTARIO N7L 1L5**

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**ROOF AREA 'C'**

1. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 60 PAVERS.**

**ROOF AREA 'D'**

2. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 12 PAVERS.**

**ROOF AREA 'E'**

3. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 80 PAVERS.**

**ROOF AREA 'F'**

4. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 50 PAVERS.**

**ROOF AREA 'G'**

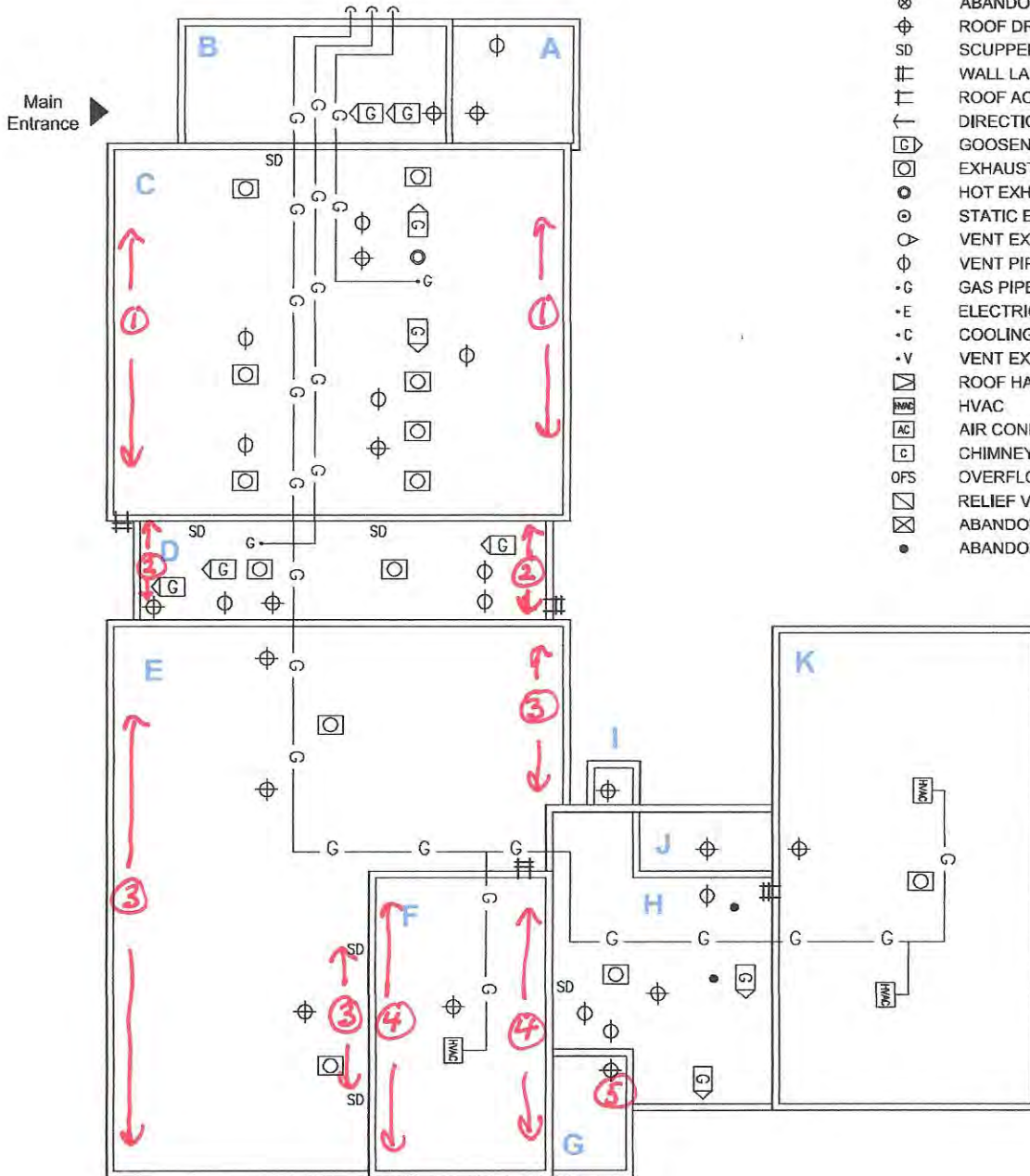
5. The Existing Single Ply Membrane is bridging. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splice and lap sealant) over top covering the securement strip at least 3 inches all around – **TOTAL OF 10 LINEAR FEET.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

FA-EPDM FULLY ADHERED EPDM MEMBRANE  
 LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE

- G — GAS LINE
- DL — DRAIN LINE
- E — ELECTRICAL LINE
- ▣ CONCRETE PAVERS
- WD WALL DRAIN
- EAVESTROUGH
- ☐ SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊢ ROOF ACCESS POINT
- ↖ DIRECTION OF SLOPE
- ↗ GOOSENECK EXHAUST FAN
- ☐ EXHAUST FAN
- HOT EXHAUST STACK
- STATIC EXHAUST VENT
- VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ☐ ROOF HATCH
- ☐ HVAC
- ☐ AC AIR CONDITIONING
- ☐ CHIMNEY
- ☐ OFS OVERFLOW SCUPPER
- ☐ RELIEF VENT
- ☐ ABANDONED ROOF CURB
- ABANDONED ROOF CURB



ROOFING DATA	A	B	C	D	E	F	G	H	I	J	K			
WARRANTY	expired	expired	expired	expired	expired	expired	expired	expired	expired	expired	expired			
LAST ROOFING	2000	1989	1989	1989	1989	1989	1989	1995	1989	1989	2000			
CONSTRUCTED	1995	1958	1958	1962	1962 / 64	1964	1964	1971	1971	2000	2000			
ROOFING TYPE	LLB-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM	LLB-EPDM	LLB-EPDM	FA-EPDM	FA-EPDM			
AREA (SQ. FT.)	340	1,040	5,340	1,150	5,600	1,660	290	1,600	40	240	3,910			

624

St. Agnes  
Catholic School

55 Croydon Street, Chatham, ON N7L 1L5



ROOF PLAN  
Scale 1:350 (metric)

09/15/2015



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD

*Lighting the Way ~ Rejoicing in Our Journey*

**ROOF MAINTENANCE PROGRAM**  
**URSULINE COLLEGE SECONDARY CATHOLIC SCHOOL**  
**85 GRAND AVENUE WEST - CHATHAM ONTARIO N7L 1B6**

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**ROOF AREA 'C'**

1. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 2 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'E'**

2. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 12 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'F'**

3. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 10 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'G'**

4. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 12 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'L'**

5. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 10 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'P'**

6. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 56 PAVERS**. Also all debris is to be removed from roof surface.

**ROOF AREA 'X'**

7. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 16 PAVERS.** Also all debris is to be removed from roof surface.

**ROOF AREA 'BB'**

8. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 38 PAVERS.** Also all debris is to be removed from roof surface.

**ROOF AREA 'CC'**

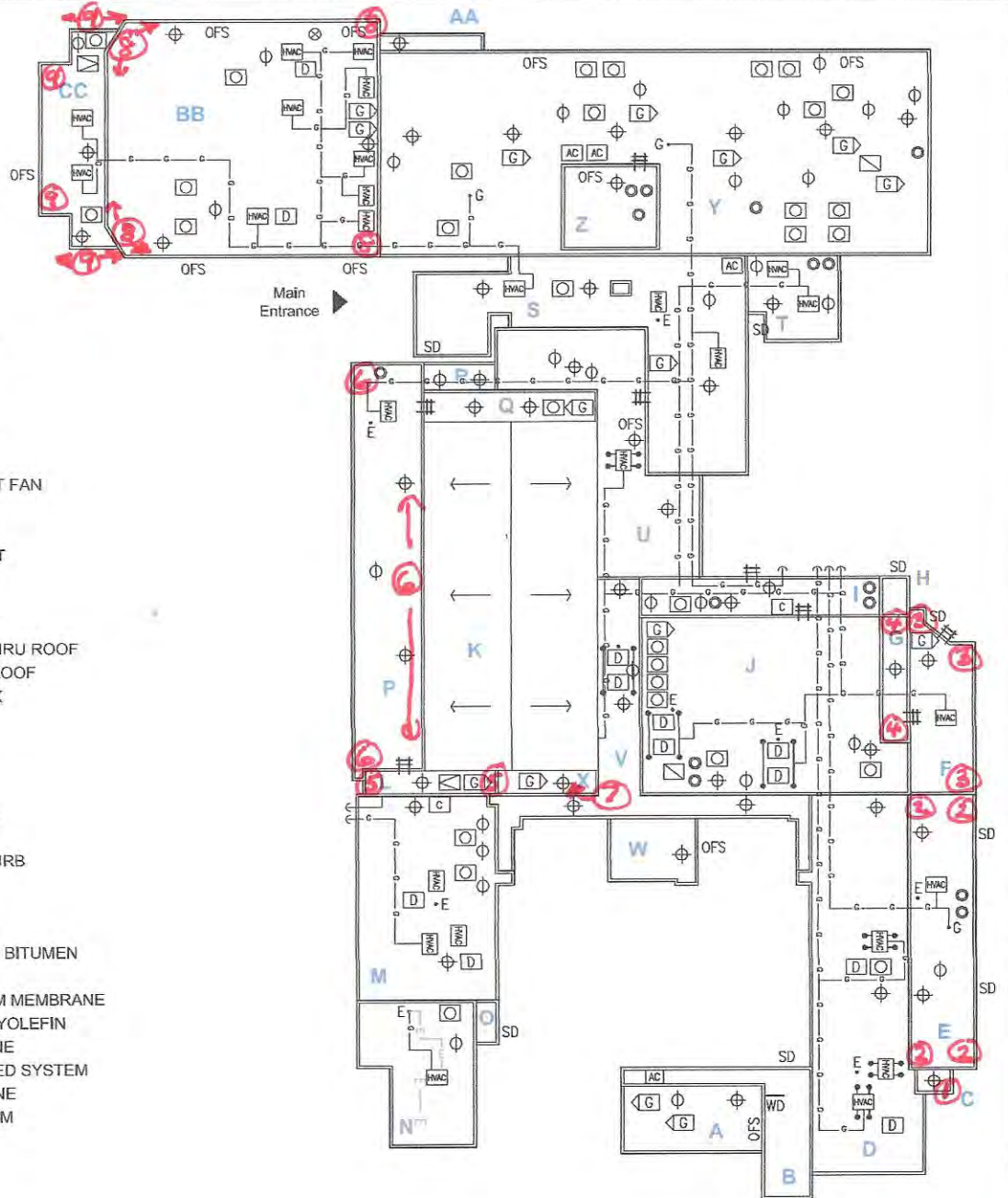
9. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 20 PAVERS.** Also all debris is to be removed from roof surface.

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
- DL — DRAIN LINE
- E — ELECTRICAL LINE
- □ CONCRETE PAVERS
- WD WALL DRAIN
- ══ EAVESTROUGH
- SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⊂ GOOSENECK EXHAUST FAN
- ⊙ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT
- ⊙ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊕ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- C CHIMNEY
- OFS OVERFLOW SCUPPER
- ⊕ RELIEF VENT
- ⊕ ABANDONED ROOF CURB
- D DUCT THRU ROOF
- ROOF SUPPORT

- 2-PLY M.B. 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
- FA-EPDM FULLY ADHERED EPDM MEMBRANE
- MA-TPO THERMOPLASTIC POLYOLEFIN SINGLE-PLY MEMBRANE
- LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE
- MSS METAL STANDING SEAM



ROOFING DATA	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	BB	CC
WARRANTY	10/02/2027	expired	10/02/2027	10/02/2027	expired	04/24/2028	10/02/2027	10/02/2027	04/05/2016	04/05/2016	expired	expired	expired	expired	expired
LAST ROOFING	2012	1999	2012	1992	1999	2003	2012	2012	1996	1996	1999	1999	2004	2004	2004
CONSTRUCTED							2012	2012							
ROOFING TYPE	LLB-EPDM	FA-EPDM	MA-TPO	MA-TPO	LLB-EPDM	FA-EPDM	MA-TPO	MA-TPO	FA-EPDM	FA-EPDM	LLB-EPDM	LLB-EPDM	FA-EPDM	FA-EPDM	FA-EPDM
AREA (SQ. FT.)	150	6,200	510	330	7,210	1,270	4,280	3,310	860	610	19,900	1,300	400	13,130	2,270

ROOFING DATA	A	B	C	D	E	F	G	H	I	J	K	L	M	N
WARRANTY	08/14/2025	08/14/2025	expired	10/02/2027	expired	expired	expired		10/02/2027	11/10/2026	expired	04/05/2016	10/02/2027	10/02/2027
LAST ROOFING	2015	2015	1999	2012	1999	1999	1999		2012	2011	1986	1996	2012	2012
CONSTRUCTED	2015	2015		2012							1986		2012	2012
ROOFING TYPE	2-PLY M.B.	2-PLY M.B.	FA-EPDM	MA-TPO	FA-EPDM	FA-EPDM	FA-EPDM	LLB-EPDM	MA-TPO	MA-TPO	MSS	FA-EPDM	MA-TPO	MA-TPO
AREA (SQ. FT.)	2,460	1,750	240	7,030	3,950	2,650	680	210	1,670	8,100	11,670	760	6,430	2,230

**725**

**Ursuline College**  
Secondary Catholic School

85 Grand Avenue West, Chatham, ON N7L 1B6



**ROOF PLAN**  
Scale 1:900 (Metric)

09/29/2015



**ST. CLAIR CATHOLIC**  
DISTRICT SCHOOL BOARD

*Lighting the Way - Rejoicing in Our Journey*

**ROOF MAINTENANCE PROGRAM  
ST. ANNE CATHOLIC SCHOOL  
183 SNOW AVENUE, BLENHEIM ONTARIO N0P 1A0**

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**ROOF AREA 'B'**

1. The existing storm collar around the hot exhaust stacks are required to be resealed with polyurethane sealant – **TOTAL OF 2 STACKS.**
2. The metal flashings on the firewall are loose and are required to be resecured to the substrate with neoprene fasteners matching the colour of the metal flashings. **TOTAL OF 50 FASTENERS.**

**ROOF AREA 'C'**

3. The existing storm collar around the hot exhaust stacks are required to be resealed with polyurethane sealant – **TOTAL OF 1 STACK.**
4. The metal flashings on the firewall are loose and are required to be resecured to the substrate with neoprene fasteners matching the colour of the metal flashings. **TOTAL OF 50 FASTENERS.**

**ROOF AREA 'D'**

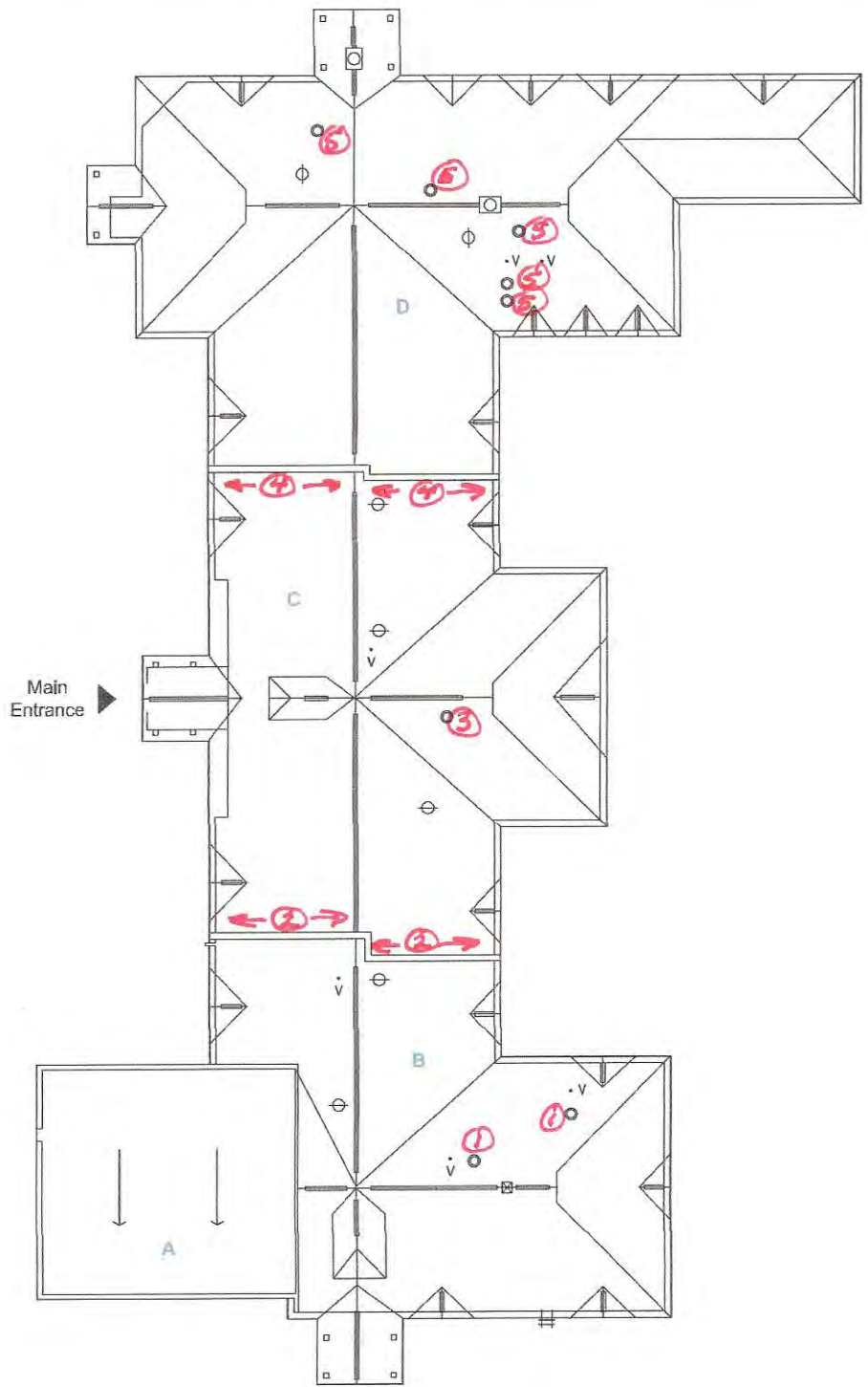
5. The existing storm collar around the hot exhaust stacks are required to be resealed with polyurethane sealant – **TOTAL OF 5 STACKS.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***



- G — GAS LINE
- DL — DRAIN LINE
- □ □ CONCRETE PAVERS
- WD WALL DRAIN
- ==== EAVESTROUGH
- SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⊠ GOOSENECK EXHAUST FAN
- ⊙ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT
- ⊙ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊠ ROOF HATCH
- ⊠ HVAC
- ⊠ AC AIR CONDITIONING
- ⊠ CHIMNEY
- ⊠ OFS OVERFLOW SCUPPER
- ⊠ RELIEF VENT
- ⊠ ABANDONED ROOF CURB
  
- LS LAMINATED SHINGLE
- MSS METAL STANDING SEAM



ROOFING DATA	A	B	C	D
WARRANTY	09/25/2019	09/25/2019	09/25/2019	09/25/2019
LAST ROOFING	2009	2009	2009	2009
CONSTRUCTED	1993	1993	1993	1993 / 09
ROOFING TYPE	MSS	LS	LS	LS
AREA (SQ. FT.)	4,200	10,900	13,610	18,920

626

St. Anne  
Catholic School

183 Snow Avenue, Blenheim, ON, N0P 1A0



ROOF PLAN  
Scale 1:550 (Metric)

09/24/2015



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD

*Lighting the Way ~ Rejoicing in Our Journey*

**ROOF MAINTENANCE PROGRAM  
ST. MICHAEL CATHOLIC SCHOOL  
25 MAPLE STREET SOUTH, RIDGETOWN ONTARIO N0P 2C0**

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**ROOF AREA 'B'**

1. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced membrane with tape splices and lap sealant) – **TOTAL OF 12 PATCHES.**

**ROOF AREA 'C'**

2. Since the existing mastic repairs have split open, it is recommended that new Sopramastic be applied over top with mesh and then additional Sopramastic on top prior to embedding whit granules on top. (See location on Enclosed Roof Plan) (**ALLOW FOR 50 LINEAR FEET IN TOTAL**)

**ROOF AREA 'D'**

3. The seal around some roof penetrations were found to be improperly sealed. It is suggested that a TPO pipe wrap is created around the vent pipe stack flanges (2) and heat welded to the field membrane and a stainless steel gear clamp installed below the top edge of membrane around the vent pipe stack flange.

**ROOF AREA 'E'**

The round river ballast is wind scouring at the corners. It is suggested that a concrete paver (24" x 24" x 1½") be placed on insulation cushion – Type 4 (24" x 24" x 1") in the corners indicated on Roof Plan – **TOTAL OF 10 PAVERS.**

**ROOF AREA 'F'**

5. The seal around some roof penetrations were found to be improperly sealed. It is suggested that a TPO pipe wrap is created around the vent pipe stack flanges (4) and heat welded to the field membrane and a stainless steel gear clamp installed below the top edge of membrane around the vent pipe stack flange.

**ROOF AREA 'G'**

6. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced membrane with tape splices and lap sealant) – **TOTAL OF 6 PATCHES.**

**ROOF AREA 'H'**

7. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced EPDM membrane with tape splices and lap sealant) – **TOTAL OF 6 PATCHES.**

**ROOF AREA 'I'**

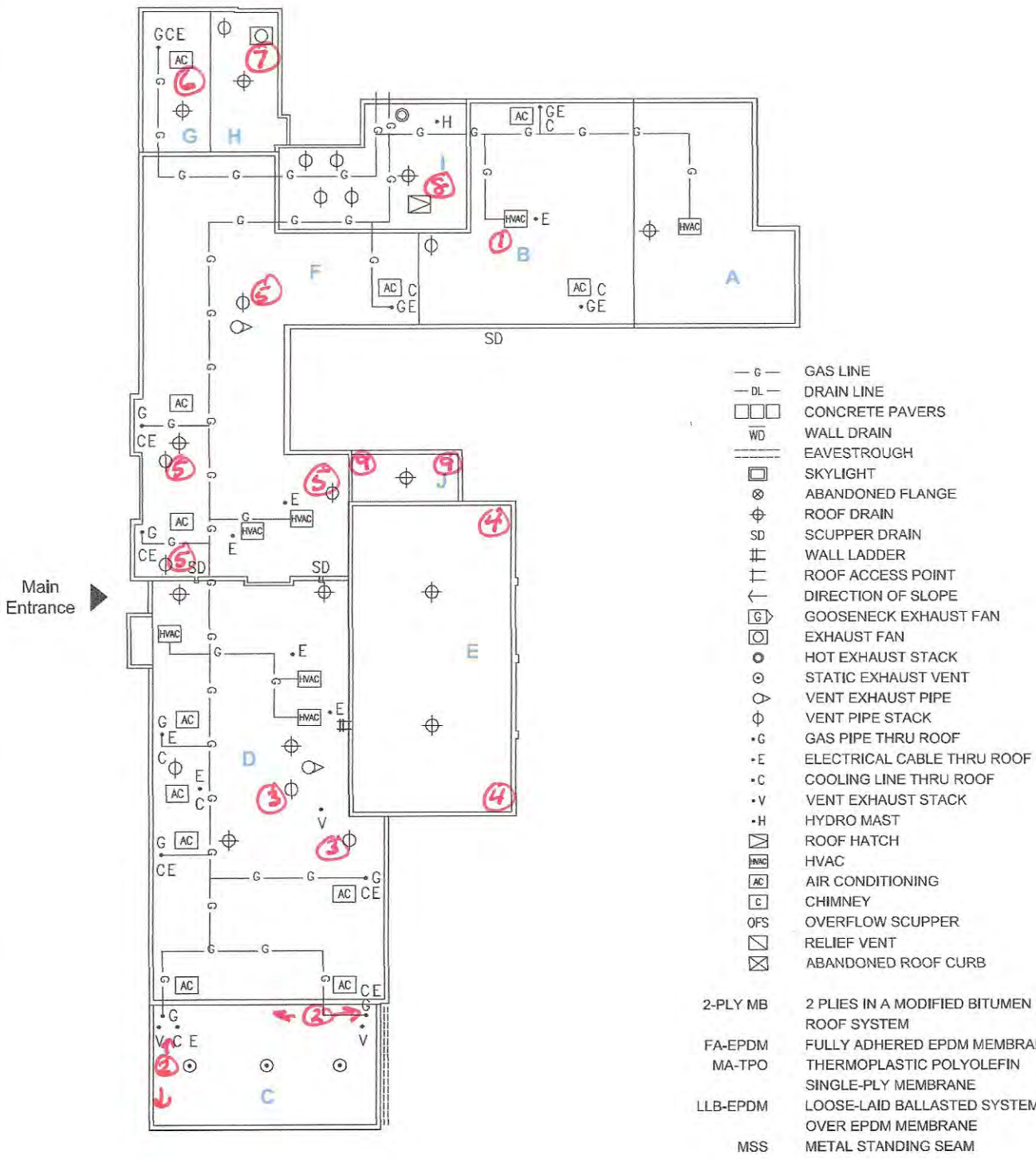
8. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced EPDM membrane with tape splices and lap sealant) – **TOTAL OF 8 PATCHES.**

**ROOF AREA 'J'**

9. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced EPDM membrane with tape splices and lap sealant) – **TOTAL OF 6 PATCHES.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***



ROOFING DATA	A	B	C	D	E	F	G	H	I	J			
WARRANTY		expired	expired	expired	expired	expired	expired	expired	expired	12/17/2015			
LAST ROOFING	2003	1996	1989	1996	1996	1996	1996	1996	1996	1995			
CONSTRUCTED	2003	1962	1989	1969	1969	1955	1964	1962	1966	1969			
ROOFING TYPE	2-PLY MB	FA-EPDM	MSS	MA-TPO	LLB-EPDM	MA-TPO	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM			
AREA (SQ. FT.)	1,970	2,680	1,830	5,840	3,380	4,740	910	450	1,260	300			

<b>640</b>	<b>St. Michael Catholic School</b>		<b>ROOF PLAN</b> Scale 1:450 (Metric)	 <b>ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD</b> <i>Lighting the Way - Rejoicing in Our Journey</i>
	25 Maple Street South, Ridgetown, ON, N0P 2C0		09/24/2015	

**ROOF MAINTENANCE PROGRAM  
GOOD SHEPHERD CATHOLIC SCHOOL  
4 EDITH STREET, THAMESVILLE ONTARIO N0P 2K0**

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**ROOF AREA 'A'**

1. The Existing Single Ply Membrane is bridging along the roof perimeter.. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splice and lap sealant) over top covering the securement strip at least 3 inches all around. (**ALLOW FOR 20 LINEAR FEET IN TOTAL**)

**ROOF AREA 'D'**

2. Field splices are required to be cleaned prior to applying HP250 Primer with 6" wide overlayment strip over top the field splices (with 3" on each side of the lap) and then seal all edges with lap sealant. (**ALLOW FOR 160 LINEAR FEET IN TOTAL**)

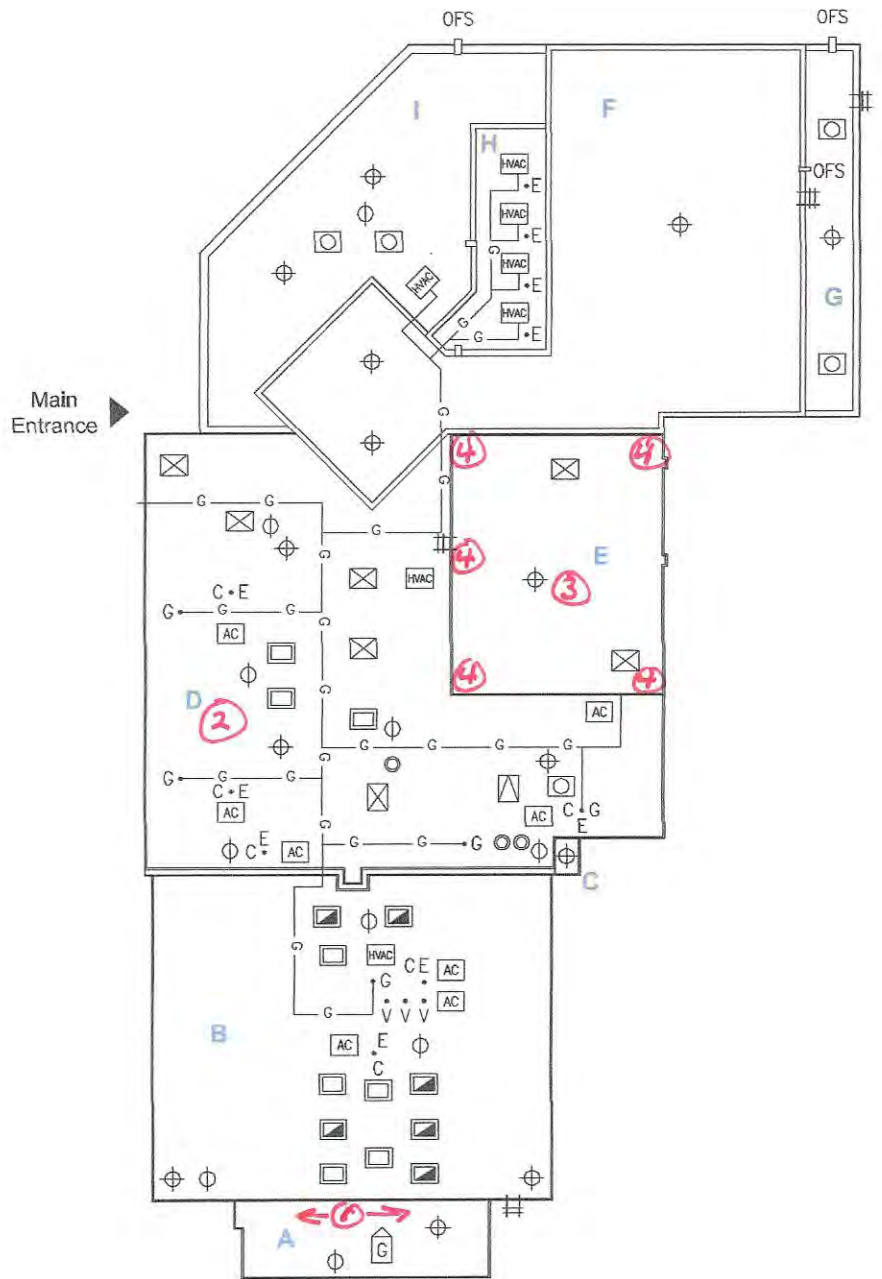
**ROOF AREA 'E'**

3. The Existing Single Ply Membrane is bridging along the roof perimeter.. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splice and lap sealant) over top covering the securement strip at least 3 inches all around. (**ALLOW FOR 50 LINEAR FEET IN TOTAL**)
4. The single ply EPDM membrane is no longer fully bonded to the rigid insulation beneath the membrane, at this point in time it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 ½") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan. (**TOTAL OF 15 PAVERS**)

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
  - DL — DRAIN LINE
  - CONCRETE PAVERS
  - WD WALL DRAIN
  - EAVESTROUGH
  - SKYLIGHT
  - SKYLIGHT W/ EXHAUST
  - ⊗ ABANDONED FLANGE
  - ⊕ ROOF DRAIN
  - SD SCUPPER DRAIN
  - ⊥ WALL LADDER
  - ⊥ ROOF ACCESS POINT
  - ← DIRECTION OF SLOPE
  - ↳ GOOSENECK EXHAUST FAN
  - ⊕ EXHAUST FAN
  - ⊙ HOT EXHAUST STACK
  - STATIC EXHAUST VENT
  - VENT EXHAUST PIPE
  - ⊕ VENT PIPE STACK
  - G GAS PIPE THRU ROOF
  - E ELECTRICAL CABLE THRU ROOF
  - C COOLING LINE THRU ROOF
  - V VENT EXHAUST STACK
  - ⊕ ROOF HATCH
  - ⊕ HVAC
  - ⊕ AC AIR CONDITIONING
  - ⊕ CHIMNEY
  - OFS OVERFLOW SCUPPER
  - ⊕ RELIEF VENT
  - ⊕ ABANDONED ROOF CURB
- 2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
- FA-EPDM FULLY ADHERED EPDM MEMBRANE
- LLB-EPDM LOOSE-LAID BALLASTED SYSTEM OVER EPDM MEMBRANE



ROOFING DATA	A	B	C	D	E	F	G	H	I				
WARRANTY													
LAST ROOFING	1991	1991	1994	1994	1991	2005	2005	2005	2005				
CONSTRUCTED	1970	1970	1970	1970	1970	2005	2005	2005	2005				
ROOFING TYPE	LLB-EPDM	2-PLY MB	FA-EPDM	FA-EPDM	LLB-EPDM	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB				
AREA (SQ. FT.)	750	5,250	30	6,960	2,280	4,690	580	940	2,600				

642

Good Shepherd  
Catholic School

4 Edith Street, Thamesville, ON, N0P 2K0



ROOF PLAN  
Scale 1:450 (Metric)

09/23/2015



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD

*Lighting the Way ~ Rejoicing in Our Journey*

**ROOF MAINTENANCE PROGRAM  
CATHOLIC EDUCATION CENTRE (CEC)  
420 CREEK STREET, WALLACEBURG ONTARIO N8A 4C4**

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**ROOF AREA 'B'**

1. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 16 PAVERS.**

**ROOF AREA 'C'**

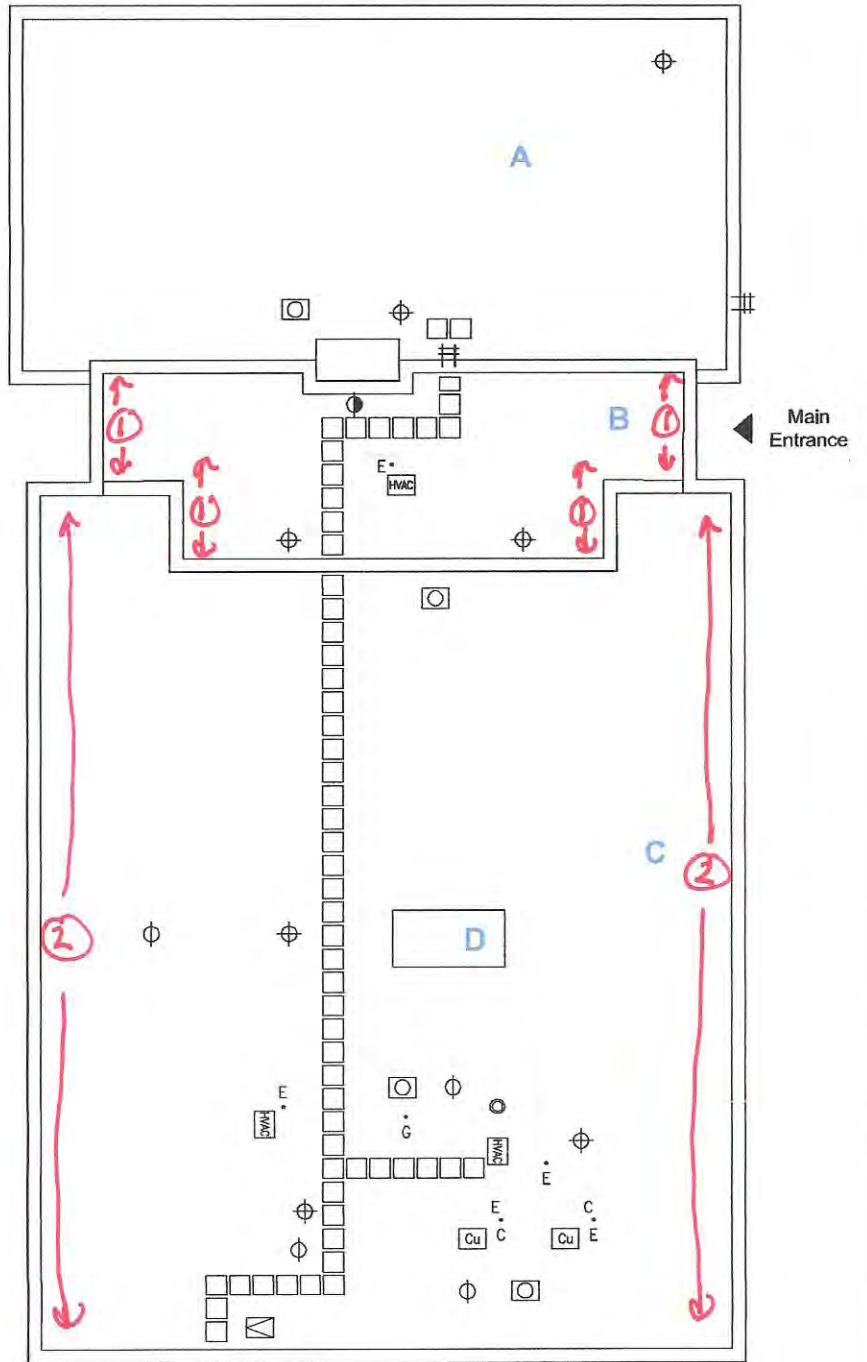
2. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeter of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 80 PAVERS.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
- DL — DRAIN LINE
- E — ELECTRICAL LINE
- ▢ CONCRETE PAVERS
- WD WALL DRAIN
- ==== EAVESTROUGH
- ☐ SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ← DIRECTION OF SLOPE
- ⌒ GOOSENECK EXHAUST FAN
- ⊠ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- STATIC EXHAUST VENT
- ⊖ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- ⊕ ABANDONED VENT PIPE STACK
- G GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊠ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- CU CONDENSING UNIT
- C CHIMNEY
- OFS OVERFLOW SCUPPER
- ⊠ RELIEF VENT
- ⊠ ABANDONED ROOF CURB

FA-EPDM FULLY ADHERED EPDM MEMBRANE  
 MA-TPO THERMOPLASTIC POLYOLEFIN SINGLE-PLY MEMBRANE



ROOFING DATA	A	B	C	D										
WARRANTY	10/19/2021	10/19/2021	10/19/2021	10/19/2021										
LAST ROOFING	2006	2006	2006	2006										
CONSTRUCTED		2001	2001	2001										
ROOFING TYPE	MA-TPO	FA-EPDM	FA-EPDM	FA-EPDM										
AREA (SQ. FT.)	2,980	1,070	8,350	70										

<b>Catholic Education Centre CEC</b>  420 Creek Street, Wallaceburg, ON N8A 4C4		<b>ROOF PLAN</b> Scale 1:250 (Metric)  09/24/2015	 <b>ST. CLAIR CATHOLIC DISTRICT SCHOOL BOARD</b> <i>Lighting the Way ~ Rejoicing in Our Journey</i>
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**ROOF MAINTENANCE PROGRAM  
CHRIST THE KING CATHOLIC SCHOOL  
227 THOMAS AVENUE, WALLACEBURG ONTARIO N8A 2B9**

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**ROOF AREA 'A'**

1. The existing metal counter flashing is required to be resecured with neoprene fasteners (one every four (4) feet) matching colour of existing metal flashings. **(TOTAL OF 22 LINEAR FEET)**

**ROOF AREA 'B'**

2. The single ply EPDM membrane is delaminating within the corners of this roof area. It is recommended that a concrete paver (24" x 24" x 1½") be placed on insulation cushion – Type 4 (24" x 24" x 1") in all four (4) corners. **(TOTAL OF 12 PAVERS)**
3. Isolated membrane patches are required over top existing membrane patches (60mil non-reinforced membrane with tape splice with lap sealant). **(6 PATCHES IN TOTAL)**
4. The existing insulation cushion beneath the wood blocking for gas line supports are required to be removed and replaced with one inch insulation cushion (all edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). **(TOTAL OF 6 SUPPORTS)**

**ROOF AREA 'C'**

5. The existing single ply membrane is bridging along the south and north perimeter of this roof area. It is suggested that the single ply membrane be cut at the change of directions, allowed to relax and then adhere existing membrane to the roof insulation and inside face of parapet wall with splicing cement. Then install a reinforced securement strip at 12 inches on center with 2 inch disc prior to applying a cover strip (60 mil non-reinforced membrane with tape splices with lap sealant) over top covering the securement strip at least 3 inches all around. **(ALLOW FOR 90 LINEAR FEET IN TOTAL)**
6. The existing insulation cushion beneath the wood blocking for gas line supports are required to be removed and replaced with one inch insulation cushion (Type 4) (All edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). **(TOTAL OF 8 SUPPORTS)**
7. Existing single ply membrane which has deformed due to substance spilled on top is required to be cut out and be covered over with new 12" x 12" membrane (60 mil non-reinforced membrane with tape splices and lap sealant). **(TOTAL OF 1 PATCH)**

**ROOF AREA 'D'**

8. Since the single ply membrane is bridging and has pulled away from the control joint, it is recommended that the single ply membrane be cut along the top of the control joint and then pulled back on both sides to allow for installation of a 6 inch wide securement strip secured with 2 inch disc and fasteners, 12" on center. Once the securement strips are in place, then adhere the existing single ply membrane with splicing cement to the new securement strip. Then apply new 60 mil non-reinforced membrane 12 inches wide down both sides of control joint with splice tape and lap sealant. **(ALLOW FOR 48 LINEAR FEET IN TOTAL)**

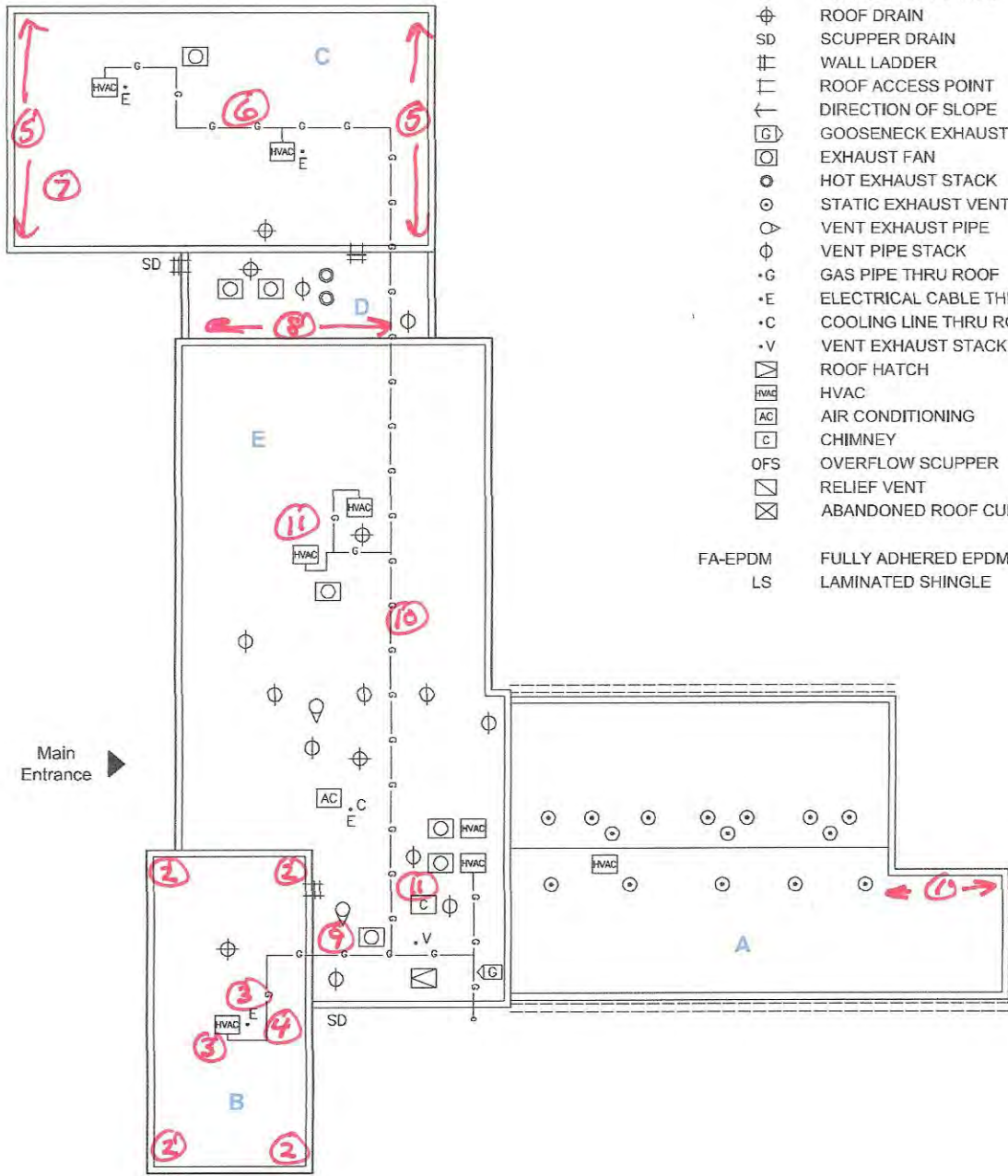


**ROOF AREA 'E'**

9. Existing single ply membrane which has deformed due to substance spilled on top is required to be cut out and covered over with new 12" x 12" membrane (60 mil non-reinforced EPDM membrane with tape splices and lap sealant). **(TOTAL OF 1 PATCH)**
10. The existing insulation cushion beneath the wood blocking for gas line supports are required to be removed and replaced with one inch insulation cushion – Type 4 (All edges of the extruded polystyrene rigid insulation is to be covered with spray paint to avoid contact with UV light). **(TOTAL OF 15 SUPPORTS)**
11. Isolated membrane patches are required over top existing membrane patches membrane (60 mil non-reinforced EPDM membrane with tape splices and lap sealant). **(TOTAL OF 8 PATCHES)**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***



- G — GAS LINE
- DL — DRAIN LINE
- □ □ CONCRETE PAVERS
- WD WALL DRAIN
- EAVESTROUGH
- SKYLIGHT
- ⊗ ABANDONED FLANGE
- ⊕ ROOF DRAIN
- SD SCUPPER DRAIN
- ≡ WALL LADDER
- ⊥ ROOF ACCESS POINT
- ↑ DIRECTION OF SLOPE
- ⊞ GOOSENECK EXHAUST FAN
- ⊙ EXHAUST FAN
- ⊙ HOT EXHAUST STACK
- ⊙ STATIC EXHAUST VENT
- ⊙ VENT EXHAUST PIPE
- ⊕ VENT PIPE STACK
- ⊕ GAS PIPE THRU ROOF
- E ELECTRICAL CABLE THRU ROOF
- C COOLING LINE THRU ROOF
- V VENT EXHAUST STACK
- ⊞ ROOF HATCH
- HVAC HVAC
- AC AIR CONDITIONING
- C CHIMNEY
- OFS OVERFLOW SCUPPER
- ⊞ RELIEF VENT
- ⊞ ABANDONED ROOF CURB
  
- FA-EPDM FULLY ADHERED EPDM MEMBRANE
- LS LAMINATED SHINGLE

ROOFING DATA	A	B	C	D	E									
WARRANTY	07/15/2049	08/17/2017			08/17/2017									
LAST ROOFING	2009	1997	2000	2000	1997									
CONSTRUCTED	1982 / 85	1965	2000	2000	1965									
ROOFING TYPE	LS	FA-EPDM	FA-EPDM	FA-EPDM	FA-EPDM									
AREA (SQ. FT.)	5,200	2,020	3,990	820	7,330									

612	<b>Christ The King</b> Catholic School		<b>ROOF PLAN</b> Scale 1:400 (Metric)		<b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way - Rejoicing in Our Journey</i>
	227 Thomas Avenue, Wallaceburg, ON, N8A 2B9		23/09/2015		

**ROOF MAINTENANCE PROGRAM  
HOLY FAMILY CATHOLIC SCHOOL  
649 MURRAY STREET, WALLACEBURG ONTARIO N8A 1W1**

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**ROOF AREA 'A'**

1. Field splices are required to be cleaned prior to applying HP250 Primer with 6" wide overlayment strip over top the field splices (with 3" on each side of the lap) and then seal all edges with lap sealant. (**ALLOW FOR 20 LINEAR FEET IN TOTAL**)
2. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 12 PAVERS.**
3. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced membrane with tape splice and lap sealant) – **TOTAL OF 6 PATCHES**

**ROOF AREA 'C'**

4. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 12 PAVERS.**
5. The wood blocking supports for gas line (4" x 4" x 12") are rotten and need to be replaced – **TOTAL OF 8 SUPPORTS.**

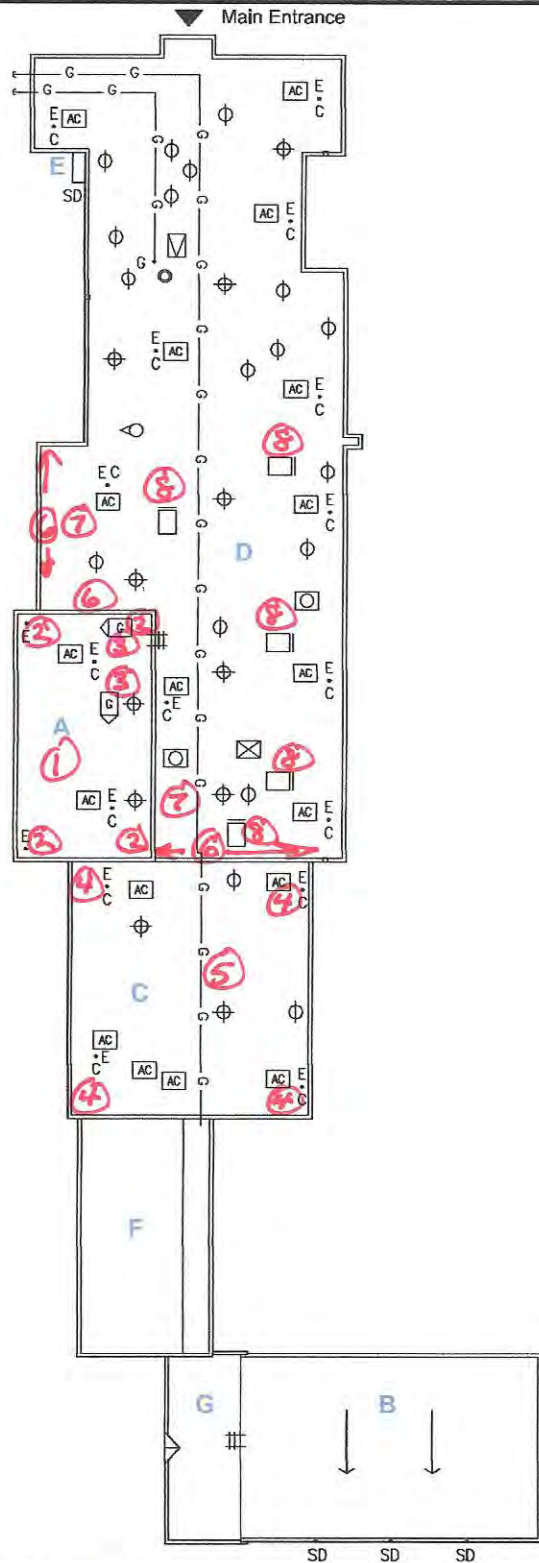
**ROOF AREA 'D'**

6. The Single Ply EPDM Membrane is no longer fully bonded to the rigid insulation beneath the membrane. At this point in time, it is suggested that the perimeters and the corners of this area be weighted down with concrete pavers (24" x 24" x 1 1/2") be placed on insulation cushion – Type 4 (24" x 24" x 1") to the area indicated on the Roof Plan – **TOTAL OF 50 PAVERS.**
7. Isolated membrane patches are required over top existing membrane patches (60 mil non-reinforced membrane with tape splice and lap sealant) – **TOTAL OF 2 PATCHES**
8. The exhaust fan section on one side of the skylight is required to be sealed over top with Elastoform Membrane to the curb of the skylight. Once the Elastoform Membrane is sealed to the skylight curb and single ply membrane on the field, then all edges are to be sealed with lap sealant. **TOTAL OF 5 SKYLIGHTS.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
  - DL — DRAIN LINE
  - CONCRETE PAVERS
  - WD WALL DRAIN
  - ==== EAVESTROUGH
  - SKYLIGHT
  - SKYLIGHT w/ EXHAUST
  - ⊗ ABANDONED FLANGE
  - ⊕ ROOF DRAIN
  - SD SCUPPER DRAIN
  - ⊥ WALL LADDER
  - ⊥ ROOF ACCESS POINT
  - ← DIRECTION OF SLOPE
  - ⊞ GOOSENECK EXHAUST FAN
  - ⊞ EXHAUST FAN
  - ⊙ HOT EXHAUST STACK
  - ⊙ STATIC EXHAUST VENT
  - ⊙ VENT EXHAUST PIPE
  - ⊕ VENT PIPE STACK
  - G GAS PIPE THRU ROOF
  - E ELECTRICAL CABLE THRU ROOF
  - C COOLING LINE THRU ROOF
  - V VENT EXHAUST STACK
  - ⊞ ROOF HATCH
  - ⊞ HVAC
  - AC AIR CONDITIONING
  - CH CHIMNEY
  - OFS OVERFLOW SCUPPER
  - RV RELIEF VENT
  - ⊞ ABANDONED ROOF CURB
- 
- 2-PLY MB 2 PLIES IN A MODIFIED BITUMEN ROOF SYSTEM
  - BUR BUILT-UP ROOF SYSTEM
  - FA-EPDM FULLY ADHERED EPDM MEMBRANE
  - MSS METAL STANDING SEAM
  - SBS POLYMER MODIFIED BITUMINOUS LAMINATED SYSTEM



ROOFING DATA	A	B	C	D	E	F	G						
WARRANTY	expired	expired	09/29/2020	07/23/2022	expired								
LAST ROOFING	1993	1993	2000	2002		2015	2015						
CONSTRUCTED	1964	1993	1965	1950 / 52 / 68 / 61 / 64		1990	1993						
ROOFING TYPE	FA-EPDM	MSS	FA-EPDM	FA-EPDM	FA-EPDM	SBS	SBS						
AREA (SQ. FT.)	2,480	4,040	4,530	13,000	30	2,100	1,120						

616	<b>Holy Family</b> Catholic School 649 Murray Street, Wallaceburg, ON, N8A 1W1		<b>ROOF PLAN</b> Scale 1:600 (Metric) 09/23/2015	 <b>ST. CLAIR CATHOLIC</b> DISTRICT SCHOOL BOARD <i>Lighting the Way ~ Rejoicing in Our Journey</i>
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**ROOF MAINTENANCE PROGRAM  
ST. ELIZABETH CATHOLIC SCHOOL  
1350 BERTHA STREET, WALLACEBURG ONTARIO N8A 3K4**

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**ROOF AREA 'D'**

1. The existing granulated cap sheet membrane is required to be primed along the bottom two (2) feet of the eaves to allow for the torching of 180 granulated surface cap sheet to eliminate the holes within the membrane – **TOTAL OF 20 ROWS OF CAP SHEET.**

**ROOF AREA 'E'**

2. The existing granulated cap sheet membrane is required to be primed along the bottom two (2) feet of the eaves to allow for the torching of 180 granulated surface cap sheet to eliminate the holes within the membrane – **TOTAL OF 30 ROWS OF CAP SHEET.**

**ROOF AREA 'F'**

3. The Single Ply EPDM Membrane is required to be cut up allowing to mechanically attach some tapered Polyiso rigid insulation sloping towards roof drain prior to fully adhering 60 mil reinforced EPDM membrane on top. **ALLOW FOR 220 FT<sup>2</sup> IN TOTAL**

**ROOF AREA 'H'**

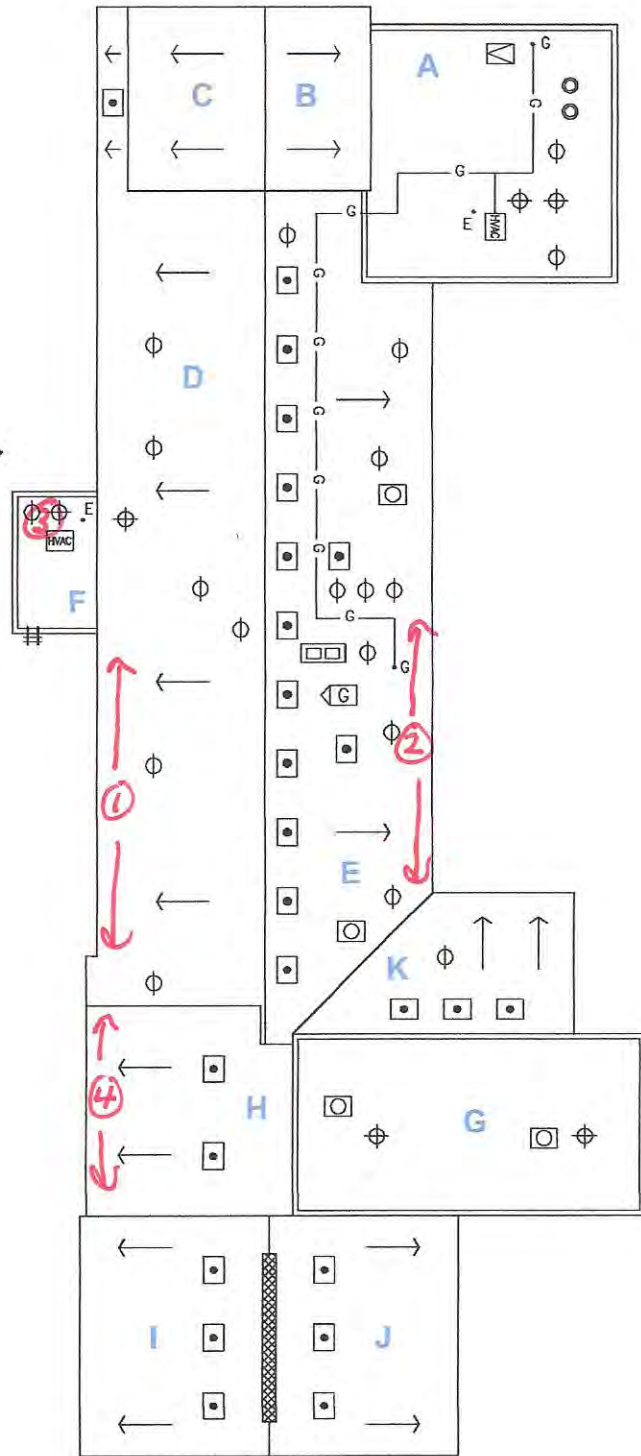
4. The existing granulated cap sheet membrane is required to be primed along the bottom two (2) feet of the eaves to allow for the torching of 180 granulated surface cap sheet to eliminate the holes within the membrane – **TOTAL OF 20 ROWS OF CAP SHEET.**

**NOTE:**

***ALL ABOVE ITEMS ARE SHOWN ON ENCLOSED ROOF PLAN FOR THIS SCHOOL***

- G — GAS LINE
  - DL — DRAIN LINE
  - EL — ELECTRICAL LINE
  - ▢▢▢ CONCRETE PAVERS
  - WD WALL DRAIN
  - EAVESTROUGH
  - ☐ SKYLIGHT
  - ⊗ ABANDONED FLANGE
  - ⊕ ROOF DRAIN
  - SD SCUPPER DRAIN
  - ≡ WALL LADDER
  - ≡ ROOF ACCESS POINT
  - ← DIRECTION OF SLOPE
  - ⊓ GOOSENECK EXHAUST FAN
  - ⊕ EXHAUST FAN
  - ⊕ ROOF BOX VENT
  - ▨ RIDGE VENT
  - HOT EXHAUST STACK
  - ⊙ STATIC EXHAUST VENT
  - ⊕ VENT EXHAUST PIPE
  - ⊕ VENT PIPE STACK
  - +G GAS PIPE THRU ROOF
  - +E ELECTRICAL CABLE THRU ROOF
  - +C COOLING LINE THRU ROOF
  - +V VENT EXHAUST STACK
  - ⊓ ROOF HATCH
  - ⊓ HVAC
  - ⊓ AC AIR CONDITIONING
  - ⊓ CHIMNEY
  - ⊓ OFS OVERFLOW SCUPPER
  - ⊓ RELIEF VENT
  - ⊓ ABANDONED ROOF CURB
- 2-PLY M.B. 2 PLYS IN A MODIFIED BITUMEN ROOF SYSTEM

Main Entrance →



ROOFING DATA	A	B	C	D	E	F	G	H	I	J	K			
WARRANTY	12/18/2014	08/11/2025	08/11/2025	08/11/2025	08/11/2025	expired	expired	08/11/2025	08/11/2025	08/11/2025				
LAST ROOFING	2004	2010	2010	2010	2010	1992	1992	2010	2010	2010	2013			
CONSTRUCTED	2006	1963	1963	1963	1957	1957	1969	1969	1993	1993	2013			
ROOFING TYPE	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB	2-PLY MB			
AREA (SQ. FT.)	3,080	680	990	6,490	6,910	570	3,040	1,700	1,850	1,850				

629

St. Elizabeth  
Catholic School

1350 Bertha Street, Wallaceburg, ON N8A 3K4



ROOF PLAN  
Scale 1:500 (Metric)

01/13/2016



ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD  
*Lighting the Way ~ Rejoicing in Our Journey*